

# AGENDA



PLANNING AND ZONING COMMISSION MEETING  
CITY HALL, 385 SOUTH GOLIAD STREET, ROCKWALL, TEXAS  
**SEPTEMBER 10, 2024 IN THE CITY COUNCIL CHAMBERS AT 6:00 PM**

**NOTES:** [1] ADDITIONAL CASE INFORMATION CAN BE FOUND AT [HTTPS://SITES.GOOGLE.COM/SITE/ROCKWALLPLANNING/DEVELOPMENT/DEVELOPMENT-CASES](https://sites.google.com/site/rockwallplanning/development/development-cases), AND [2] TO PROVIDE INPUT ON A ZONING OR SPECIFIC USE PERMIT CASE PLEASE [CLICK HERE](#) OR CLICK ON THE LINK ABOVE AND USE THE ZONING AND SPECIFIC USE PERMIT INPUT FORM ON THE CITY'S WEBSITE.

(I) **CALL TO ORDER**

(II) **OPEN FORUM**

*This is a time for anyone to address the Planning and Zoning Commission on any topic that is not already listed on the agenda for a public hearing. Per the policies of the City of Rockwall, public comments are limited to three (3) minutes out of respect for the time of other citizens. On topics raised during the OPEN FORUM, please know that the Planning and Zoning Commission is not permitted to respond to your comments during the meeting per the Texas Open Meetings Act.*

(III) **CONSENT AGENDA**

*These agenda items are administrative in nature or include cases that meet all of the technical requirements stipulated by the Unified Development Code (UDC) and Chapter 38, Subdivisions, of the Municipal Code of Ordinances, and do not involve discretionary approvals.*

- (1) Approval of Minutes for the August 13, 2024 Planning and Zoning Commission meeting.
- (2) Approval of Minutes for the August 27, 2024 Planning and Zoning Commission meeting.

(3) **SP2024-039 (HENRY LEE)**

Consider a request by Cody Johnson of Johnson Volk Consulting on behalf of Kyle Tressler of Qualico Development, Inc. for the approval of a Site Plan for an Amenity Center for the Peachtree Meadows Subdivision situated on a 1.06-acre portion of a larger 45.95-acre tract of land identified as Tract 5 of the J. R. Johnson Survey, Abstract No. 128, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 101 (PD-101) [Ordinance No. 23-11] for Single-Family 10 (SF-10) District land uses, generally located on the southside of Mims Road west of the intersection of Mims Road and National Drive, and take any action necessary.

(IV) **PUBLIC HEARING ITEMS**

*This is a time for anyone to speak concerning their issues with a public hearing case. If you would like to speak regarding an item listed in this section, please submit a Request to Address the Planning and Zoning Commission (i.e. the yellow forms available at the podium or from staff). The Planning and Zoning Commission Chairman will call upon you to come forward at the proper time or will ask if anyone in the audience would like to speak. Please limit all comments to three (3) minutes out of respect for the time of other citizens.*

(4) **Z2024-035 (RYAN MILLER)**

Hold a public hearing to discuss and consider a request by William S. Dahlstrom of Jackson Walker, LLP on behalf of James J. Melino of Rockwall 549/I-30 Partners, LP and Conveyor I30 Partners, LP for the approval of a Zoning Change from a Commercial (C) District to a Planned Development District for Commercial (C) District land uses on a 67.475-acre tract of land identified as Lot 1, Block B; Lot 1R, Block C; and Lot 1, Block D, Rockwall Commercial Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the IH-30 Overlay (IH-30 OV) District, generally located at the northwest corner of Stodghill Road and the IH-30 Frontage Road, and take any action necessary.

(5) **Z2024-036 (BETHANY ROSS)**

Hold a public hearing to discuss and consider a request by Travis Block for the approval of a Specific Use Permit (SUP) for a Detached Garage on a 0.53-acre tract of land identified as a portion of Block 4 of the Garner Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 10 (SF-10) District, situated within the North SH-205 Overlay (N. SH-205 OV) District, addressed as 921 N. Alamo Street, and take any action necessary.

(6) **Z2024-039 (HENRY LEE)**

Hold a public hearing to discuss and consider a request by Scott Popescu of Brookhaven Media for the approval of a Specific Use Permit (SUP) for a Short-Term Rental on a 0.25-acre parcel of land identified as Lot 2, Block I, Northshore, Phase 2B Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 10 (SF-10) District, addressed as 4153 Panther Ridge Lane, and take any action necessary.

(7) **Z2024-040 (ANGELICA GUEVARA)**

Hold a public hearing to discuss and consider a request by Carol A. Byrd for the approval of a *Specific Use Permit (SUP)* for *Residential Infill in an Established Subdivision* on a 0.2850-acre parcel of land identified as Lot 5B, Block 5, Griffith Addition, City of Rockwall, Rockwall County, Texas, zoned Single Family 7 (SF-7) District, situated within the Old Town Rockwall (OTR) Historic District, addressed as 403 E. Kaufman Street, and take any action necessary.

(V) **DISCUSSION ITEMS**

(8) *Director's Report* of post City Council meeting outcomes for development cases **(RYAN MILLER)**.

- P2024-028: Replat for Lots 3 & 4, Block A, Rockwall County Courthouse Addition **(APPROVED)**
- P2024-029: Final Plat for Lot 1, Block A, Revelation Addition **(APPROVED)**
- MIS2024-018: Alternative Tree Mitigation Settlement Agreement for Lakepoint Church **(APPROVED)**
- Z2024-031: Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* at 510 W. Kaufman Street **(2<sup>ND</sup> READING; APPROVED)**
- Z2024-032: Amendment to Planned Development District 13 (PD-13) **(2<sup>ND</sup> READING; APPROVED)**

(VI) **ADJOURNMENT**

The City of Rockwall Planning and Zoning Commission reserves the right to adjourn into executive session at any time to discuss any matters listed on the agenda above, as authorized by Texas Local Government Code §55.071 (Consultation with City Attorney) or any other exception allowed under Chapter 551 of the Texas Local Government Code.

This facility is wheelchair accessible and accessible parking spaces are available. Request for accommodations or interpretive services must be made 48 hours prior to this meeting. Please contact the City Secretary's Office at (972) 772-6406 for further information.

I, Melanie Zavala, Planning and Zoning Coordinator for the City of Rockwall, Texas, do hereby certify that this Agenda was posted at City Hall, in a place readily accessible to the general public at all times, on September 6, 2024 at 5:00 PM, and remained so posted for at least 72 continuous hours preceding the scheduled time of said meeting.

# MINUTES



PLANNING AND ZONING COMMISSION MEETING  
CITY HALL, 385 SOUTH GOLIAD STREET, ROCKWALL, TEXAS  
AUGUST 13, 2024 IN THE CITY COUNCIL CHAMBERS AT 6:00 PM

2 **NOTES:** [1] ADDITIONAL CASE INFORMATION CAN BE FOUND AT [HTTPS://SITES.GOOGLE.COM/SITE/ROCKWALLPLANNING/DEVELOPMENT/DEVELOPMENT-CASES](https://sites.google.com/site/rockwallplanning/development/development-cases),  
3 AND [2] TO PROVIDE INPUT ON A ZONING OR SPECIFIC USE PERMIT CASE PLEASE [CLICK HERE](#) OR CLICK ON THE LINK ABOVE AND USE THE ZONING AND SPECIFIC  
4 USE PERMIT INPUT FORM ON THE CITY'S WEBSITE.

## I. CALL TO ORDER

7 Chairman Deckard called the meeting to order at 6:00PM. Commissioners present were Vice-Chairman John Womble, Jay Odom, Ross Hustings and  
8 John Hagaman. Commissioners absent were Dr. Jean Conway and Kyle Thompson. Staff members present were Director of Planning and Zoning  
9 Ryan Miller, Senior Planner Henry Lee, Planning Technician Angelica Guevara, Planning Coordinator Melanie Zavala, City Engineer Amy Williams,  
10 Assistant City Engineer Jonathan Browning and Civil Engineer Madelyn Price.

## II. OPEN FORUM

13 *This is a time for anyone to address the Planning and Zoning Commission on any topic that is not already listed on the agenda for a public  
14 hearing. Per the policies of the City of Rockwall, public comments are limited to three (3) minutes out of respect for the time of other citizens.  
15 On topics raised during the OPEN FORUM, please know that the Planning and Zoning Commission is not permitted to respond to your comments  
16 during the meeting per the Texas Open Meetings Act.*

17 Chairman Deckard explained how the open forum is conducted and asked if anyone who wished to speak to come forward at this time; there being  
18 no one indicating such Chairman Deckard closed the open forum.

## III. CONSENT AGENDA

23 *These agenda items are administrative in nature or include cases that meet all of the technical requirements stipulated by the Unified  
24 Development Code (UDC) and Chapter 38, Subdivisions, of the Municipal Code of Ordinances, and do not involve discretionary approvals.*

### 1. Approval of Minutes for the July 30, 2024 Planning and Zoning Commission meeting.

### 2. P2024-027 (HENRY LEE)

31 Consider a request by James Murphey on behalf of John Arnold of Falcon Place SF, LTD for the approval of a Replat for the Winding Creek  
32 Subdivision consisting of 132 single-family residential lots on a 78.831-acre tract of land identified as Tracts 17, 17-01, 22, 22-04 & 22-05 of the  
33 W. M. Dalton Survey, Abstract No. 72, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 91 (PD-91) for Single-  
34 Family 16 (SF-16) District land uses, generally located at the southeast corner of the intersection of FM-1141 and Clem Road, and take any  
35 action necessary.

36 Vice-Chairman Womble made a motion to approve the Consent Agenda. . Commissioner Hustings seconded the motion which passed by a vote of  
37 5-0 with Commissioners Conway and Thompson absent.

## IV. PUBLIC HEARING ITEMS

42 *This is a time for anyone to speak concerning their issues with a public hearing case. If you would like to speak regarding an item listed in this  
43 section, please submit a Request to Address the Planning and Zoning Commission (i.e. the yellow forms available at the podium or from staff).  
44 The Planning and Zoning Commission Chairman will call upon you to come forward at the proper time or will ask if anyone in the audience would  
45 like to speak. Please limit all comments to three (3) minutes out of respect for the time of other citizens.*

### 3. Z2024-031 (ANGELICA GUEVARA)

48 Hold a public hearing to discuss and consider a request by Paul and Dioselina Curbow for the approval of a Specific Use Permit (SUP) for  
49 Residential Infill Adjacent to an Established Subdivision on a 0.2753-acre tract of land identified as a portion of Block 20 of the Lowe & Allen  
50 Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 10 (SF-10) District, addressed as 510 W. Kaufman Street, and take  
51 any action necessary.

52 Planning Technician Angelica Guevara provided a brief summary in regards to the applicants request. The applicant is requesting approval for a  
53 Specific Use Permit (SUP) for Residential Infill for the purpose of constructing a single-family home on the subject property. The proposed single-  
54 family home meets all the density and dimensional requirements as stipulated by the Unified Development Code (UDC) for a property in a single-  
55 family 10 (SF-10) District with the exception of the garage orientation. Instead of being the required 20-feet behind the front faced of the home. Staff  
56 should note that this is not atypical of the area and does not appear to have a negative impact on the subdivision. Staff mailed out notices to property  
57 owners and occupants within 500-feet of the subject property. Staff has received one notice back in opposition of the applicants request.  
58

62 Paul Curbow  
63 510 W. Kaufman Street  
64 Rockwall, TX 75087

66 Mr. Curbow came forward and provided additional details in regards to his request.

68 Chairman Deckard opened the Public Hearing and asked if anyone who wished to speak to come forward at this time, there being no one indicating  
69 such Chairman Deckard closed the Public Hearing and brought the item back for discussion or action.

71 Commissioner Hustings made a motion to approve Z2024-031. Commissioner Odom Seconded the motion which passed by a vote of 5-0.

73 4. Z2024-032 (RYAN MILLER)

74 Hold a public hearing to discuss and consider a request by the City of Rockwall for the approval of a Zoning Change amending Planned  
75 Development District 13 (PD-13) [*Ordinance No.'s 81-05, 84-43, & 94-41*] for the purpose of consolidating the regulating ordinances for a 149.97-  
76 acre tract of land situated within the James Smith Survey, Abstract No. 200, City of Rockwall, Rockwall County, Texas, zoned Planned  
77 Development District 13 (PD-13) for Single-Family 7 (SF-7) District and Neighborhood Services (NS) District land uses, generally located in  
78 between W. Ralph Hall Parkway, Horizon Road [*FM-3097*], and Tubbs Road, and take any action necessary.

80 Director of Planning and Zoning Ryan Miller provided a brief summary in regards to the request. In June of 2023 City Council directed staff to begin  
81 the process of initiating zoning to amend the City's older Planned Development Districts in order to consolidate ordinances. The purpose of this  
82 effort is to make the zoning ordinance easier to understand for the City's external customers and to make ordinances easier to interpret by staff.  
83 However, the proposed consolidating ordinances are not intended to change any of the requirement's, concept plans or development standards  
84 stipulated with the Planned Development District. This was successfully done recently with Planned Development District for the Chandlers Landing  
85 Subdivision, Lakeside Village Subdivision, Turtle Cove Subdivision and The Shores Subdivision. Planned Development District 13 (PD-13) which  
86 includes the Windmill Ridge Subdivision and the Our Savior Lutheran Church was originally drafted in 1981 and currently consist of 15 pages and 3  
87 regulating ordinances and approximately 31 development cases. The proposed draft ordinance consolidates the regulating ordinances and  
88 development cases into a single document but again stating previously it does not change any of the lad uses, development standards or any of the  
89 requirements for the properties in the Planned Development District 13 (PD-13) area. Even though the City isn't making any changes state law states  
90 that the City shall take the case forward in the same manner as zoning case. Based on this staff mailed out notices to property owners and occupants  
91 within 500-feet of the subject property. Staff has received four (4) responses from property owners and three (3) were in favor of the request.

93 Chairman Deckard opened the public hearing and asked if anyone who wished to speak to come forward at this time.

95 Don Delgado  
96 169 Magnolia Lane  
97 Rockwall, TX 75032

99 Mrs. Delgado came forward and asked if this proposed ordinance allows the surrounding neighbors to have Short Term Rentals.

101 Director of Planning and Zoning Ryan Miller explained that the proposed ordinance does not allow/but doesn't un-allow Short Term rentals, but there  
102 is an ordinance in place already that allows Short Term rentals in certain conditions.

104 Chairman Deckard asked if anyone else who wished to speak to come forward at this time, there being no one indicating such; Chairman Deckard  
105 closed the Public Hearing and brought the item back to the commission for discussion or action.

107 Vice-Chairman Womble made a motion to approve Z2024-032. Commissioner Hustings seconded the motion which passed by a vote of 5-0.

109 5. Z2024-033 (RYAN MILLER)

110 Hold a public hearing to discuss and consider a request by Ryan Joyce of Michael Joyce Properties on behalf of Bill Lofland for the approval of  
111 a Zoning Change from an Agricultural (AG) District to a Planned Development District for Single-Family 10 (SF-10) and General Retail (GR)  
112 District land uses on a 544.89-acre tract of land identified as Tracts 3 & 3-1 of the A. Johnson Survey, Abstract No. 123 [355.146-acres]; Tracts  
113 7 & 7-2 of the W. H. Baird Survey, Abstract No. 25 [45.744-acres]; and Tracts 3 & 4 of the J. R. Johnson Survey, Abstract No. 128 [144.00-  
114 acres], City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, situated within the SH-205 Overlay (SH-205) and SH-205 By-  
115 Pass Overlay (SH-205 BY OV) District, generally located on the east and west side of S. Goliad Street [*SH-205*] at the corner of the intersection  
116 of John King Boulevard and S. Goliad Street [*SH-205*], and take any action necessary.

118 Director of Planning and Zoning Ryan Miller provided a brief summary in regards to the applicants request. The subject property was annexed into  
119 the City of Rockwall in phases that span between 1986 and 1999 and has remained zoned as Agricultural (AG) District since its annexation. The  
120 applicant is requesting a Zoning Change for the purpose of establishing a mixed use Planned Development District. That will incorporate a Single-  
121 Family 10 (SF-10) and Limited General Retail District land uses. Specifically, the concept plan shows that the proposed Planned Development District  
122 will incorporate 41 acres of land designated for limited general retail district land uses . What it means by limited is staff has gone through the general  
123 retail district standards and taken out any uses that would not be conducive to residential adjacency. You'll notice that most of commercial areas in  
124 this planned development district have residential adjacency and you'll see inside the PD a big long list of uses that are prohibited. In addition, staff  
125 has established in those areas will be subjected to the upgraded overlay district development standards and that will be contained in the Planned  
126 Development District. Looking at the remaining 495.42 acres the applicant is proposing to establish a 960 lot Single-Family residential subdivision.  
127 That will consist of 24, 185' x 200' lots 15, 100' x 200' lots 46, 100' x 140' lots 125, 82' x 125' lots 377, 72' x 125' lots 308, 62' x 125' lots 65, 52' x 120'

128 lots. The home sizes for the proposed lots will be between 2,000 sq. feet and 3,200 sq. feet. The gross density for this development will be 1.79  
129 dwelling units per acre. In addition to the concept plan it shows that the proposed development will also incorporate 65.78 acres of private open  
130 space. 5.14 acres consisting of two (2) amenity centers. 2.39 acre for a future water tower site. 37.69 acres consisting of two (2) public parks. 79.85  
131 acres of floodplain. This equates to 190.85 acres of open space or a total of 28.14% as calculated by the Unified Development Code (UDC) this means  
132 that the proposed development will exceed the required 20% by 8.14% the applicant is also proposing to provide 10-foot trails along John King  
133 Boulevard and South Goliad Street and FM 549. Also add 8-foot trails internal to the subdivision and two (2) trail heads. One (1) will be at Mercers  
134 Colony Avenue and John King Boulevard and one (1) at South Goliad Street and Lofland Circle. Staff has summarized the density and dimensional  
135 requirements contained in Planned Development District ordinance. Summarized the infrastructure requirements that the applicant will have to  
136 provide to adequately serve this development. Looking at the comprehensive plan the subject property is located within two (2) districts. The South-  
137 Central Residential District and the Southwest Residential District. It is primarily designated for Low Density Residential Land Uses. The plan defines  
138 Low Density Residential Land Uses as residential subdivisions that are two (2) units per gross acre or less. However, a density of up to two and one-  
139 half units per gross acre may be permitted for developments that incorporate increased amenity and a mix of land uses. In this case the increased  
140 amenity is defined as open space beyond 20%. A golf course is comparable or recreational facilities. In this case the proposed total gross density is  
141 1.79 dwelling units per acre which would translate to a gross residential density of 1.94 dwelling units per acre. This would be consistent with the  
142 low-density residential land use in the comprehensive plan. Staff has also included map density of residential subdivisions for comparison purposes.  
143 That being said the applicant is proposing to make interchanges to the future land use map. In addition, there are two (2) new city parks that would  
144 also need to be adjusted to open space on the plan moving forward. The proposed change in the future land use map is a discretionary decision for  
145 City Council pending a recommendation from the Planning and Zoning Commission. Looking at the district strategies the applicant's plan does  
146 appear to conform to the commercial retail strategies and the strategies associated with the John King Boulevard Plan. However, with regard to the  
147 strategies for suburban residential. Both district states that the development should include a mix of larger to midsize lots. In this case the  
148 predominant lot types making it about 71.35% of all lots are 62 x 125 and 72 x 125.

149  
150 **Ryan Joyce**  
151 767 Justin Road  
152 Rockwall TX 5087

153  
154 **Mr. Joyce came forward and provided additional details in regards to the request.**

155  
156 **Commissioner Odom asked what the sale price would be.**

157  
158 **Chairman Deckard asked when phase one would be.**

159  
160 **Commissioner Hustings asked about the original lot size.**

161  
162 **Commissioner Hagaman asked about when all phases would be done.**

163  
164 **Commissioner Hagaman asked about the 52 lots.**

165  
166 **Commissioner Odom asked about the meetings with the neighborhoods.**

167  
168 **Chairman Deckard opened the public hearing and asked if anyone who wished to speak to come forward at this time.**

169  
170 **Matt Scott**  
171 4925 Bear Claw Ln  
172 Rockwall, TX 75032

173  
174 **Mr. Scott came forward and expressed his concerns in regards to the case.**

175  
176 **Richard Henson**  
177 2424 FM 549  
178 Rockwall, TX 75032

179  
180 **Mr. Henson came forward and expressed being in opposition to the request.**

181  
182 **Leslie Wilson**  
183 535 Cullins Road  
184 Rockwall, TX 75032

185  
186 **Mrs. Wilson came forward and expressed being in opposition to the request.**

187  
188 **Bob Lyon**  
189 1900 Broken Lance Lane  
190 Rockwall, TX 75032

191  
192 **Mr. Lyon came forward and expressed being in opposition to the request.**

193  
194

195 **Kristin Ash**  
196 **599 Deveron Drive**  
197 **Rockwall, TX 75087**  
198  
199 **Mrs. Ash came forward and expressed her concerns and being opposed to the request.**  
200  
201 **David Guevara**  
202 **1905 Broken Lance Lane**  
203 **Rockwall, TX 75032**  
204  
205 **Mr. Guevara came forward and expressed being in opposition of the request.**  
206  
207 **Leslie Hope**  
208 **530 Cullins Road**  
209 **Rockwall, TX 75032**  
210  
211 **Mrs. Hope came forward and expressed being opposed to the request.**  
212  
213 **Ashely Krueger**  
214 **1970 Broken Lance Lane**  
215 **Rockwall, TX 75032**  
216  
217 **Mrs. Krueger came forward and expressed being opposed to the request.**  
218  
219 **Bonnie Hoffman**  
220 **2426 FM 552**  
221 **Rockwall, TX 75032**  
222  
223 **Mrs. Hoffman came forward and expressed being opposed to the request.**  
224  
225 **Terrance Tippett**  
226 **2060 Broken Lance Lane**  
227 **Rockwall, TX 75032**  
228  
229 **Mr. Tippett came forward and expressed being opposed to the request.**  
230  
231 **Tim McCallum**  
232 **5140 Standing Oak Lane**  
233 **Rockwall, TX 75032**  
234  
235 **Mr. McCallum came forward and expressed being opposed to this request.**  
236  
237 **Richard Wilkinson**  
238 **1970 Broken Lance Lane**  
239 **Rockwall, TX 75032**  
240  
241 **Mr. Wilkinson came forward and expressed being opposed to the request.**  
242  
243 **Stan Jeffus**  
244 **2606 Cypress Drive**  
245 **Rockwall, TX 75087**  
246  
247 **Mr. Jeffus came forward and expressed being opposed to this request.**  
248  
249 **Dwaine Powers**  
250 **2716 FM 549**  
251 **Rockwall, TX 75032**  
252  
253 **Mr. Powers came forward and expressed being opposed to the request.**  
254  
255 **Melba Jeffus**  
256 **2606 Cypress Drive**  
257 **Rockwall, TX 75087**  
258  
259 **Mrs. Jeffus came forward and expressed being opposed to the request.**  
260  
261

262 Susan Langdon  
263 5050 Bear Claw Lane  
264 Rockwall, TX 75032

265  
266 Mrs. London came forward and expressed her concerns and being opposed to the request.

267  
268 Chris Arnold  
269 5170 Bear Claw Lane  
270 Rockwall, TX 75087

271  
272 Mr. Arnold came forward and expressed being opposed to the request.

273  
274 Joe Ward  
275 4920 Bear Claw Lane  
276 Rockwall, TX 75032

277  
278 Mr. Ward came forward and expressed being opposed to the request.

279  
280 Greg Podleski  
281 1950 Broken Lance Lane  
282 Rockwall, TX 75032

283  
284 Mr. Podleski came forward and expressed being opposed to the request.

285  
286 Bob Wacker  
287 3109 Featherstone  
288 Rockwall, TX 75087

289  
290 Mr. Wacker came forward and expressed his concerns in regards to the applicants request.

291  
292 Chairman Deckard asked if anyone else who wished to speak to come forward at this time, there being no one indicating such; Chairman Deckard  
293 closed the Public Hearing and brought the item back to the commission for discussion or action.

294  
295 After some discussion Commissioner Hagaman made a motion to deny Z2024-033. Commissioner Hustings seconded the motion and it failed 2 to 3.  
296 Commissioner Odom made a motion to approve Z2024-033. Chairman Deckard seconded the motion which passed by a vote of 3-2. With  
297 Commissioner Hustings and Hagaman dissenting.

298  
299  
300 6. **Z2024-034 (BETHANY ROSS)**

301 Hold a public hearing to discuss and consider a request by Kari J'Layne Mayfield for the approval of a *Specific Use Permit (SUP)* for a *Short-*  
302 *Term Rental* on a 0.1980-acre parcel of land identified as Lot 28, Block A, Windmill Ridge Estates, Phase 4B, City of Rockwall, Rockwall County,  
303 Texas, zoned Planned Development District 13 (PD-13) for Single-Family 7 (SF-7) District land uses, addressed as 161 Walnut Lane, and take  
304 any action necessary.

305  
306 Planner Bethany Ross provided a brief summary in regards to the applicants request. The applicant is requesting a Specific Use Permit (SUP) to allow  
307 a non-owner-occupied short-term rental on this property. It is within 1,000 feet of an existing permitted non-owner-occupied short-term rental (STR).  
308 On April 1, 2024 the City Council adopted an ordinance requiring all STR to obtain permits with a deadline of July 1, 2024 for those in operation before  
309 April 1<sup>st</sup>. The applicants STR was in operation before the April 1<sup>st</sup> but failed to apply for the required permit by the deadline. Additionally, the property  
310 is 585 feet away of another non-owner occupied STR violating the 1,000-foot buffer. As a result, the applicant must obtain a Specific Use Permit (SUP)  
311 before proceeding with a STR permit application. In considering this SUP request the Planning and Zoning commission and City Council should  
312 assess location impact of both proposed and existing STR on the nearby property. The proposed STR would accommodate up to 10 guests with four  
313 bedrooms and 2 ½ bathrooms. Compared to the nearby existing STR at 141 Summerhill Lane would accommodate 6 guests and 3 bedrooms and 2  
314 bathrooms. Staff should note that 2 police incidents at the property since 2019 seem to be unrelated to the operation of the STR and the presence of  
315 two unpermitted structures in the backyard that must be addressed before an STR permit can be issued.

316  
317 Kari J'layne Mayfield  
318 161 Walnut Lane  
319 Rockwall, TX 75032

320  
321 Mrs. Mayfield came forward and provided details in regards to her request.

322  
323 Commissioner Hagaman asked how often the property rents out.

324  
325 Chairman Deckard opened the public hearing and asked if anyone who wished to speak to come forward at this time.

326  
327 Marsha Haynes

328 145 Crest Haven Drive  
329 Rockwall, TX 75032

330  
331 Mrs. Haynes came forward and expressed her concerns and opposition in regards to the request.

332  
333 Mike Jamshidi  
334 141 Cresthaven Drive  
335 Rockwall, TX 75032

336  
337 Mr. Jamshidi came forward and expressed his concern in regards to the request.

338  
339 Don Delgado  
340 169 Magnolia Lane  
341 Rockwall, TX 75032

342  
343 Mrs. Delgado came forward and expressed her concerns in regards to the request.

344  
345 Stan Jeffus  
346 2606 Cypress Drive  
347 Rockwall, TX 75087

348  
349 Mr. Jeffus came forward and expressed his concerns in regards to the request.

350  
351 Erika Nannis  
352 120 Woodcreek Drive  
353 Rockwall, TX 75032

354  
355 Mrs. Nannis came forward and expressed her opposition to the request.

356  
357 Steven Liechty  
358 152 Brockway Drive  
359 Rockwall, TX 75032

360  
361 Mr. Liechty came forward and expressed his opposition in regards to the request.

362  
363 Alena Maly  
364 3699 Sycamore Lane  
365 Rockwall, TX 75032

366  
367 Mrs. Maly came forward and expressed being in opposition of the request.

368  
369 Cindy Liechty  
370 152 Brockway Drive  
371 Rockwall, TX 75032

372  
373 Mrs. Liechty came forward and expressed her opposition to the request.

374  
375 Bob Wacker  
376 309 Featherstone  
377 Rockwall, TX 75087

378  
379 Mr. Wacker came forward and expressed his concerns in regard to the applicant's request.

380  
381 Chairman Deckard asked if anyone else who wished to speak to come forward at this time; there being no one indicating such Chairman Deckard  
382 closed the Public Hearing and brought the item back to the board for di

383  
384 Commissioner Odom made a motion to deny Z2024-034. Vice-Chairman Womble seconded the motion which passed by a vote of 4-1 with  
385 Commissioner Hagaman dissenting.

386  
387 V. ACTION ITEMS

388  
389 *These items are not advertised public hearings and deal with discretionary approvals for the Planning and Zoning Commission related to*  
390 *variances and special exceptions to the technical requirements of the Unified Development Code (UDC) or Chapter 38, Subdivisions, of the*  
391 *Municipal Code of Ordinances.*

392  
393 7. SP2024-014 (BETHANY ROSS)



394 Discuss and consider a request by Dnyanada Nevgi of SRV Land Building and Real Estate, LLC on behalf of Naomi Freeman of Buffalo Country  
395 Properties, LLC for the approval of a Site Plan for a *Retail Building and Daycare Facility* on a 2.649-acre parcel of land identified as Lot 13 of  
396 the Rockwall Business Park East Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, generally located on the  
397 southside of E. Ralph Hall Parkway west of the intersection of E. Ralph Hall Parkway and S. Goliad Street [SH-205], and take any action  
398 necessary.  
399

400 **Planner Bethany Ross provided a brief summary in regards to the request. The applicant is requesting a Site Plan for a retail building and daycare**  
401 **facility. A similar site plan was approved in 2020 but expired in 2022 due to ongoing process. Staff allowed this case to continue but the building**  
402 **permit expired August 29, 2023. Engineering approval lapsed in January of 2024 due to inactivity. Consequently, the applicant reapplied for a new**  
403 **site plan in March of 2024. Text Amendment in 2023 changed the preservation requirements. If approved by the Planning and Zoning Commission**  
404 **this will be a recommendation to City Council on August 19. The site plan generally conforms to the UDC requirements except for the primary and**  
405 **secondary building articulation. ARB reviewed this and made a recommendation of approval.**  
406

407 **Commissioner Hustings asked if there was a variance that has been discussed for this project.**

408  
409 **Firoze Shams**  
410 **5712 Bedrock Drive**  
411 **McKinney, TX 75070**  
412

413 **Mr. Shams came forward and provided additional details in regards to the request.**  
414

415 **Chairman Deckard made a motion to approve SP2024-014. Commissioner Hustings seconded the motion which passed by a vote of 5-0.**  
416

417 **8. SP2024-035 (HENRY LEE) [POSTPONED BY THE APPLICANT TO THE SEPTEMBER 10, 2024 P&Z MEETING]**

418 Discuss and consider a request by Miglena Minkova of Texx Team USA, LLC on behalf of Rick Landrum of the Kroger Co. for the approval of  
419 an Amended Site Plan for *Incidental Display* for a *Donation Box* in conjunction with an existing *General Retail Store* (i.e. Kroger) being an 8.724-  
420 acre parcel of land identified as Lot 24, Block A, Horizon Ridge Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development  
421 District 9 (PD-9) for General Retail (GR) District land uses, situated within the Scenic Overlay (SOV) District, addressed as 2935 Ridge Road  
422 [FM-740], and take any action necessary.  
423

424 **9. SP2024-036 (HENRY LEE) [POSTPONED BY THE APPLICANT TO THE SEPTEMBER 10, 2024 P&Z MEETING]**

425 Discuss and consider a request by Miglena Minkova of Texx Team USA, LLC on behalf of Rick Landrum of the Kroger Co. for the approval of  
426 an Amended Site Plan for *Incidental Display* for a *Donation Box* in conjunction with an existing *General Retail Store* (i.e. Kroger) being an 11.236-  
427 acre parcel of land identified as Lot 1, Block A, Kroger 205 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development  
428 District 5 (PD-5) for General Retail (GR) District land uses, situated within the North SH-205 Overlay (N. SH-205 OV) District, addressed as  
429 1980 N. Goliad Street [SH-205], and take any action necessary.  
430

431 **10. Director's Report of post City Council meeting outcomes for development cases (RYAN MILLER).**

- 432
- 433 • P2024-026: Final Plat for Lot 1, Block A, Vigor Way Plaza Addition (**APPROVED**)
  - 434 • MIS2024-016: Miscellaneous Case for an Exception for Artificial or Synthetic Plant Materials at 559 E. IH-30 (**DENIED**)
  - 435 • Z2024-028: Zoning Change (PD-44, HC & C to PD-44) for Rayburn Electric Cooperative (**2<sup>ND</sup> READING; APPROVED**)
  - 436 • Z2024-029: Specific Use Permit (SUP) for a *Detached Garage* at 911 N. Alamo Street (**2<sup>ND</sup> READING; APPROVED**)
  - 437 • Z2024-030: Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* at 329 Harborview Drive (**2<sup>ND</sup> READING; APPROVED**)
- 438

439 **Director of Planning and Zoning Ryan Miller provided a brief update about the outcomes of the above referenced cases at the City Council meeting.**  
440

441 **VI. ADJOURNMENT**

442  
443 **Chairman Deckard adjourned the meeting at 10:13PM**  
444

445 PASSED AND APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL, Texas, this \_\_\_\_\_ day of \_\_\_\_\_  
446 \_\_\_\_\_, 2024.  
447

448  
449  
450 Attest:

451 \_\_\_\_\_  
452 Melanie Zavala, Planning Coordinator  
453

\_\_\_\_\_  
Derek Deckard, Chairman

454 **11. Capital Improvement Advisory Committee Meeting (CIAC) [7:30 PM]**

455 The Capital Improvement Advisory Committee Meeting (CIAC) will be meeting directly after the Planning and Zoning Commission Work Session  
456 Meeting to discuss and act on the 2024 Roadway Impact Fee Update.

457  
458

# MINUTES

PLANNING AND ZONING COMMISSION WORK SESSION MEETING  
CITY HALL, 385 SOUTH GOLIAD STREET, ROCKWALL, TEXAS  
AUGUST 27, 2024 IN THE CITY COUNCIL CHAMBERS AT 6:00 PM

2 **NOTES:** [1] ADDITIONAL CASE INFORMATION CAN BE FOUND AT [HTTPS://SITES.GOOGLE.COM/SITE/ROCKWALLPLANNING/DEVELOPMENT/DEVELOPMENT-CASES](https://sites.google.com/site/rockwallplanning/development/development-cases),  
3 AND [2] TO PROVIDE INPUT ON A ZONING OR SPECIFIC USE PERMIT CASE PLEASE [CLICK HERE](#) OR CLICK ON THE LINK ABOVE AND USE THE ZONING AND SPECIFIC  
4 USE PERMIT INPUT FORM ON THE CITY'S WEBSITE.

## 5 6 I. CALL TO ORDER

7  
8 Chairman Deckard called the meeting to order at 6:00PM. Commissioners present were Vice-Chairman John Womble, Dr. Jean Conway, Jay Odom,  
9 Ross Hustings, Kyle Thompson and John Hagaman. Staff members present were Director of Planning and Zoning Ryan Miller, Senior Planner Henry  
10 Lee, Planner Bethany Ross, Planning Technician Angelica Guevara, Planning Coordinator Melanie Zavala, City Engineer Amy Williams, Assistant  
11 City Engineer Jonathan Browning and Civil Engineer Madelyn price.

## 12 13 II. APPOINTMENTS

- 14  
15 1. Appointment with the Architectural Review Board (ARB) Chairman to receive the Architectural Review Board's recommendations and  
16 comments for items on the agenda requiring architectural review.

17  
18 A representative from the Architectural Review Board gave a brief explanation concerning the agenda items that were discussed at the architectural  
19 review board meeting.

## 20 21 III. OPEN FORUM

22  
23 *This is a time for anyone to address the Planning and Zoning Commission on any topic that is not already listed on the agenda for a public*  
24 *hearing. Per the policies of the City of Rockwall, public comments are limited to three (3) minutes out of respect for the time of other citizens.*  
25 *On topics raised during the OPEN FORUM, please know that the Planning and Zoning Commission is not permitted to respond to your comments*  
26 *during the meeting per the Texas Open Meetings Act.*

27  
28 Chairman Deckard explained how the open forum is conducted and asked if anyone who wished to speak to come forward at this time; there being  
29 no one indicating such Chairman Deckard closed the open forum.

## 30 31 IV. CONSENT AGENDA

32  
33 *These agenda items are administrative in nature or include cases that meet all of the technical requirements stipulated by the Unified*  
34 *Development Code (UDC) and Chapter 38, Subdivisions, of the Municipal Code of Ordinances, and do not involve discretionary approvals.*

### 35 36 2. **P2024-028 (HENRY LEE)**

37 Consider a request by Ben Sanchez of Parkhill on behalf of Frank New of Rockwall County for the approval of a Replat for Lots 3 & 4, Block A,  
38 Rockwall County Courthouse Addition being a 12.789-acre parcel of land identified as Lot 1, Block A, Rockwall County Courthouse Addition,  
39 City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the IH-30 Overlay (IH-30) District, addressed as 963  
40 E. Yellow Jacket Lane, and take any action necessary.

### 41 42 3. **P2024-029 (BETHANY ROSS)**

43 Consider a request by Justin Toon of Reserve Capital – Rockwall Industrial SPE for the approval of a Final Plat for Lot 1, Block A, Revelation  
44 Addition being a 18.480-acre tract of land identified as Tracts 1, 1-3 & 1-7 of the J. M. Allen Survey, Abstract No. 2, City of Rockwall, Rockwall  
45 County, Texas, zoned Light Industrial (LI) District, situated within the SH-276 Overlay (SH-276 OV) District, addressed as 1725 SH-276, and  
46 take any action necessary.

47  
48 Commissioner Conway made a motion to approve the Consent Agenda. Commissioner Husting seconded the motion which passed by a vote of 7-0.  
49

## 50 51 V. ACTION ITEMS

52 *These items are not advertised public hearings and deal with discretionary approvals for the Planning and Zoning Commission related to*  
53 *variances and special exceptions to the technical requirements of the Unified Development Code (UDC) or Chapter 38, Subdivisions, of the*  
54 *Municipal Code of Ordinances.*

### 55 56 4. **SP2024-038 (ANGELICA GUEVARA)**

57 Discuss and consider a request by Eric Williams of Teague, Nall & Perkins on behalf of Elisa Cardona of the North Texas Municipal Water  
58 District for the approval of a Site Plan for a Municipally Controlled Utility Substation on a 0.40-acre portion of a larger 44.557-acre tract of land  
59 identified as Tract 3 of the T. R. Bailey Survey, Abstract No. 30, City of Rockwall, Rockwall County, Texas, zoned Planned Development District

60 80 (PD-80) for Single-Family 10 (SF-10) District land uses, situated within the SH-205 By-Pass Overlay (SH-205 BY OV) District, generally  
61 located north of the intersection of John King Boulevard and FM-552, and take any action necessary.  
62

63 Planning Technician Angelica Guevara provided a brief summary in regards to the applicants request. The applicant has submitted a site plan and  
64 landscape plans which shows the proposed construction of a subdivision with an overhead meter vault. In this case, the applicant is North Texas  
65 Municipal Water District. The proposed substation will be constructed fully using split face, concrete masonry units which meets the 90% masonry  
66 requirements butt does meet the overlay requirements therefore this will require a variance from the Planning and Zoning Commission. Staff also  
67 suggested that the applicant provide screening to the vault. While the applicant did provide trees along the north and south of the site they only  
68 provided shrubs along the front. Staff will continue to work with the applicant to make sure the landscape is in conformance with the overlay district  
69 standards. Architectural Review Board (ARB) did recommend approval of the building elevations.  
70

71 Eric Williams  
72 825 Watters Creek Blvd  
73 Allen, TX 75013  
74

75 Mr. Williams came forward and provided additional details in regards to the request.

76  
77 Chairman Deckard asked about the trees along the front, asked if there was a reason as to why they're not adding them now.

78  
79 Mr. Williams answered Chairman's question explaining that currently there is a water line running up and down the front of the property.

80  
81 Director of Planning and Zoning Ryan Miller also explained that this would be the reason they're using tree varieties that both the District and the  
82 City can find acceptable in this case.  
83

84 Commissioner Hustings made a motion to approve SP2024-038. Commissioner Conway seconded the motion which passed by a vote of 7-0.  
85

#### 86 5. MIS2024-017 (BETHANY ROSS)

87 Discuss and consider a request by Danny Mayberry on behalf of Eastridge Church of Christ for the approval of a *Miscellaneous Case* for an  
88 *Exception for a Front Yard Fence* on a 15.159-acre parcel of land identified as Lot 1, Block A, Rockwall Lakeside Church of Christ Addition, City  
89 of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, situated within the FM-549 Overlay (FM-549 OV) District, addressed as  
90 670 N. Stodghill Road, and take any action necessary.  
91

92 Planner Bethany Ross provided a brief summary in regards to the applicants request. The applicant is requesting a front yard fence to secure a play  
93 area for the children that are three or younger that are visiting the church. The proposed fence meets all the requirements for a front yard fence by  
94 being constructed of rod iron 48-inches in height and 50% transparent. However, front yard fences are required an exception through the Planning  
95 and Zoning commission. The applicant's fence does not appear to have a negative impact on any of the other adjacent properties.  
96

97 Director of Planning and Zoning Ryan Miller asked the applicant to come down and speak to clarify the fence location that the applicant is proposing.  
98

99 Danny Mayberry  
100 670 N Stodghill Road  
101 Rockwall, TX 75032  
102

103 Mr. Mayberry came forward and provided details in regards to the request and verified the placement of the proposed fence.

104  
105 Commissioner Hustings wanted to clarify with the applicant that they will only be using rod iron for the proposed fence.

106  
107 Commissioner Conway made a motion to approve MIS2024-017. Commissioner Odom seconded the motion which passed by a vote of 7-0.  
108

#### 109 6. MIS2024-018 (HENRY LEE)

110 Discuss and consider a request by Mike Feather of Kimley-Horn on behalf of John Wardell of Lakepointe Church for the approval of a  
111 *Miscellaneous Case* for an *Alternative Tree Mitigation Settlement Agreement* on a 34.4904-acre parcel of land identified as Lot 3, Block A, Lake  
112 Pointe Baptist Church Addition, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, situated within the IH-30 Overlay  
113 (IH-30 OV) District, addressed as 701 E. IH-30, and take any action necessary.  
114

115 Senior Planner Henry lee provided a brief summary in regards to the applicants request. The applicant met with staff a few months ago for a pre-  
116 development meeting. At that time, they had indicated they had some improvements they wanted to do for the property. This would be split into two  
117 (2) primary phases. With the first (1) phase they're realigning an internal road on the property to help with circulation. They will be removing 1,224  
118 inches of tree on the property. They have indicated that 385 inches of trees will be planted on sight and will reduce their mitigation to 839 inches.  
119 Since they are proposing to do another phase of development on this property they're requesting to differ the remaining inches till the next phase.  
120 Any additional planting will come from the next phase. They have indicated that if the second phase does not complete a treescape plan similar to  
121 what is being proposed by December 31, 2025 they will pay the remaining balance. In this case it would be \$83,900. This will go to City Council  
122 pending a recommendation of the Planning and Zoning Commission.  
123

124 Chairman Deckard asked if expiration would be December 31<sup>st</sup> of next year.  
125

126 Vice-Chairman Womble asked if that date will be when they have to start or when it'll have to be completed.

127  
128  
129 Chairman Deckard asked if they will be planting in phase one or two.

130  
131 John Wardell  
132 880 Ivy Lane  
133 Rockwall, TX 75087

134  
135 Mr. Wardell came forward and provided additional details in regards to the applicants request.

136  
137 Commissioner Thompson made a motion to approve MIS2024-018. Vice-Chairman Womble seconded the motion which passed by a vote of 7-0.

138  
139 VI. DISCUSSION ITEMS

140  
141 *These items are for discussion between staff and the Planning and Zoning Commission and relate to administrative information and/or cases that*  
142 *will come forward for action or public hearing at a future Planning and Zoning Commission meeting. Public comment on these cases can take*  
143 *place when these items are considered for action by the Planning and Zoning Commission. The anticipated Planning and Zoning Commission*  
144 *public hearing and/or action date for the following cases is August 13, 2024.*

145  
146 7. **Z2024-035 (RYAN MILLER)**

147 Hold a public hearing to discuss and consider a request by William S. Dahlstrom of Jackson Walker, LLP on behalf of James J. Melino of  
148 Rockwall 549/I-30 Partners, LP and Conveyor I30 Partners, LP for the approval of a Zoning Change from a Commercial (C) District to a Planned  
149 Development District for Commercial (C) District land uses on a 67.475-acre tract of land identified as Lot 1, Block B; Lot 1R, Block C; and Lot  
150 1, Block D, Rockwall Commercial Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the IH-30  
151 Overlay (IH-30 OV) District, generally located at the northwest corner of Stodghill Road and the IH-30 Frontage Road, and take any action  
152 necessary.

153  
154 Director of Planning and Zoning Ryan Miller provided a brief summary in regard to the applicant's request. They've broken this down into four  
155 different sub districts. This is in our special commercial corridor. when we were going through the comprehensive plan process, we put together a  
156 corridor plan for this that identified this particular property as an opportunity zone meaning that it was currently vacant land and was large enough  
157 to support a super-regional user in the future. When we looked at the strategically located property in the public meetings, we held we did identify  
158 this for a Town Center model or a regional justice destination model. One thing you're looking at when you're looking at does this conform, you'll be  
159 looking at that. Staff has tailored the planned development district ordinance to the retailer themselves in this case now that being said you can see  
160 that they still incorporated several of the things that we look for in a in a regional shopping center that being a linear green space that runs through  
161 the development. Staff is still working through some of the PD language with regards to signage. Staff has also requested kind of sign details so that  
162 you can get an idea of what that signage will look like. They're going to incorporate that into the elevations you see here sub district B which will be  
163 the last phase. The future regional shopping center will be tied to limited commercial district uses when you're going through your planned  
164 development district, you'll notice that we limited many of the uses in a commercial district acknowledging that not every use is going to be  
165 appropriate for this Town Center model and we took out a lot of the uses that we didn't feel would be conducive to this type of development. They  
166 also tied it down to the standard commercial district standards, but we also use the I-30 overlay district standards for the entire property and now  
167 there are provisions for shared parking. They are also changing the standards to give allowances for those and those will be indicated on the final  
168 concept plan. As Mike indicated they're not 100% sure how this lays out until they get the retailers, we did put in a PD development plan requirement  
169 and if you remember PD development plan gives us a discretionary site plan it'll be almost an interim zoning step. We have this set of uses but we'll  
170 go through and look at how that shopping center lays out compared to the rest of the development when that when they come in to develop that and  
171 it'll give an element of discretion to the plan.

172  
173 Mike Avalon  
174 8222 Douglas Avenue  
175 Dallas, TX 75225

176  
177 Jeannie DeFazio  
178 311 Lois Street  
179 Roanoke, TX 76262

180  
181 Bill Dahlstrom  
182 2323 Ross Ave  
183 Dallas, TX 75201

184  
185 Luke Jugal  
186 8222 Douglas  
187 Dallas, TX 75201

188  
189 Michael Clark  
190 6750 Hillcrest Plaza  
191 Dallas, TX 75230

193 Mike Avalon provided a brief presentation in regards to the case. The plan is 67 acres, and it all starts with a project called IKEA. Mr. Avalon explained  
194 it would be a destination retail gateway project that could only happen if you have a category like an IKEA. It would also include 500 housing units  
195 divided into two (2) 250 units.

196  
197 Commissioner Thompson asked if the Townhomes would sell as individual units.

198  
199 Commissioner Thompson asked about parking.

200  
201 Commissioner Hagaman asked about the timeline of Phases.

202  
203 Mr. Avalon specified that when ground breaks and stores start signing, they will have a master plan and comeback for the next step for a site plan.

204  
205 Commissioner Conway wanted to confirm that there will be garages.

206  
207 Director of Public Works and City Engineer Amy Williams mentioned that they are currently adding water in.

208  
209 Director of Planning and Zoning Ryan Miller gave a brief summary in regard to the mixed use.

210  
211 Vice-Chairman Womble asked about the intentions of the PD.

212  
213 Commissioner Conway asked about the stone for IKEA.

214  
215 Mike Avalon explained that IKEA will not be changing the way it looks.

216  
217 Chairman Deckard advised that this item will go before the commission for discussion or action on September 13, 2024.

218  
219 **8. Z2024-036 (BETHANY ROSS)**

220 Hold a public hearing to discuss and consider a request by Travis Block for the approval of a Specific Use Permit (SUP) for a Detached Garage  
221 on a 0.53-acre tract of land identified as a portion of Block 4 of the Garner Addition, City of Rockwall, Rockwall County, Texas, zoned Single-  
222 Family 10 (SF-10) District, situated within the North SH-205 Overlay (N. SH-205 OV) District, addressed as 921 N. Alamo Street, and take any  
223 action necessary.

224  
225 Planner Bethany Ross provided a brief summary in regards to the applicants request. The applicant is requesting a detached garage that does not  
226 conform to the Unified Development Code (UDC) and therefore requires a Specific Use Permit (SUP) for the variances to the height, size and allowable  
227 structures. However, the applicant current residential plot plan shows the building front façade of the home which is not allowed it needs to be 20  
228 feet behind the front façade. It is within the side building setbacks. Both of those things will need to be revised before the next meeting.

229  
230 Chairman Deckard asked about the size of the detached garage and Primary residence.

231  
232 Travis Block  
233 921 N. Alamo Road  
234 Rockwall, TX 75087

235  
236 Mr. Block came forward and provided additional details in regards to the applicants request.

237  
238 Planner Bethany Ross asked the applicant when they do the new Residential Plot Plan to add the two existing structures to the plan.

239  
240 Chairman Deckard advised that this item will go before the commission for discussion or action on September 10, 2024.

241  
242 **9. Z2024-039 (HENRY LEE)**

243 Hold a public hearing to discuss and consider a request by Scott Popescu of Brookhaven Media for the approval of a Specific Use Permit (SUP)  
244 for a Short-Term Rental on a 0.25-acre parcel of land identified as Lot 2, Block I, Northshore, Phase 2B Addition, City of Rockwall, Rockwall  
245 County, Texas, zoned Single-Family 10 (SF-10) District, addressed as 4153 Panther Ridge Lane, and take any action necessary.

246  
247 Senior Planner Henry Lee provided a brief summary in regards to the applicants request. The applicant is requesting a SUP for a Short-Term rental  
248 within 1,000 feet of another short-term rental being non-owner occupied. In this case this was an existing STR before City Council passed the  
249 ordinance. They did not submit within the time frame therefore, they are requesting a new short-term rental. Staff did not have record of local Hotel  
250 Taxes being paid. In addition, there were no police reports on this property. That being said staff did see the property is still being listed on their  
251 website.

252  
253 Chairman Deckard advised that this item will go before the commission for discussion or action on September 10, 2024.

254  
255 **10. Z2024-040 (ANGELICA GUEVARA)**

256 Hold a public hearing to discuss and consider a request by Carol A. Byrd for the approval of a Specific Use Permit (SUP) for Residential Infill in  
257 an Established Subdivision on a 0.2850-acre parcel of land identified as Lot 5B, Block 5, Griffith Addition, City of Rockwall, Rockwall County,

258 Texas, zoned Single Family 7 (SF-7) District, situated within the Old Town Rockwall (OTR) Historic District, addressed as 403 E. Kaufman  
259 Street, and take any action necessary.  
260

261 **Planning Technician Angelica Guevara provided a brief summary in regards to the applicants request. The applicant is requesting a Specific Use**  
262 **Permit (SUP) for the purpose of constructing a single-family home. The proposed home meets all of the density and dimensional requirements for a**  
263 **home in a Single-Family 7 (SF-7) District. In addition, the Historic Preservation Advisory Board (HPAB) approved a Certificate of Appearance (COA)**  
264 **and recommended approval of the request.**

265  
266 **Chairman Deckard advised that this item will go before the commission for discussion or action on September 10, 2024.**  
267

268 **11. SP2024-039 (HENRY LEE)**

269 Discuss and consider a request by Cody Johnson of Johnson Volk Consulting on behalf of Kyle Tressler of Qualico Development, Inc. for the  
270 approval of a Site Plan for an Amenity Center for the Peachtree Meadows Subdivision situated on a 1.06-acre portion of a larger 45.95-acre  
271 tract of land identified as Tract 5 of the J. R. Johnson Survey, Abstract No. 128, City of Rockwall, Rockwall County, Texas, zoned Planned  
272 Development District 101 (PD-101) [*Ordinance No. 23-11*] for Single-Family 10 (SF-10) District land uses, generally located on the southside  
273 of Mims Road west of the intersection of Mims Road and National Drive, and take any action necessary.  
274

275 **Senior Planner Henry Lee provided a brief summary in regards to the applicants request. The applicant is requesting a Site Plan for the Amenity**  
276 **Center for Peachtree Meadows subdivision. On the site plan they're including a pool and two (2) shade structures, Storage and a playground area.**  
277 **That being said ARB did recommend approval of this request. They appear to meet all of the requirements.**  
278

279 **Chairman Deckard advised that this item will go before the commission for discussion or action on September 10, 2024.**  
280

281 **12. Director's Report of post City Council meeting outcomes for development cases (RYAN MILLER).**  
282

- 283 • P2024-027: Replat for the Winding Creek Subdivision (**APPROVED**)
- 284 • SP2024-014: Alternative Tree Mitigation Settlement Agreement for a *Retail Building* and *Daycare Facility* on E. Ralph Hall Parkway  
285 (**APPROVED**)
- 286 • MIS2024-001: Resolution Establishing the Public Hearing Date for the Adoption of Roadway, Water, and Wastewater Impact Fees  
287 (**APPROVED**)
- 288 • Z2024-031: Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* at 510 W. Kaufman Street (**1<sup>ST</sup> READING;**  
289 **APPROVED**)
- 290 • Z2024-032: Amendment to Planned Development District 13 (PD-13) (**1<sup>ST</sup> READING; APPROVED**)
- 291 • Z2024-033: Zoning Change (AG to PD) for the Juniper Subdivision (**DENIED WITHOUT PREJUDICE**)
- 292 • Z2024-034: Specific Use Permit (SUP) for a *Short-Term Rental* at 161 Walnut Lane (**DENIED**)  
293

294 **Director of Planning and Zoning Ryan Miller provided a brief summary in regards to the outcomes of the cases listed above.**  
295

296 **VII. ADJOURNMENT**

297  
298 **Chairman Deckard adjourned the meeting at 7:19PM.**  
299

300 PASSED AND APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL, Texas, this \_\_\_\_\_ day of \_\_\_\_\_  
301 \_\_\_\_\_, 2024.  
302

303  
304 \_\_\_\_\_  
305 Dr. Jean Conway, Commissioner

306 Attest:  
307 \_\_\_\_\_  
308 Melanie Zavala, Planning Coordinator



# CITY OF ROCKWALL

## PLANNING AND ZONING COMMISSION MEMORANDUM

### PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

---

**TO:** Planning and Zoning Commission

**FROM:** Henry Lee, *Senior Planner*

**DATE:** September 10, 2024

**SUBJECT:** SP2024-039; *PD Site Plan for the Peachtree Meadows Subdivision Amenity Center*

---

The applicant, Cody Johnson of Johnson Volk Consulting, is requesting the approval of a site plan for the amenity center within the Peachtree Meadows Subdivision. The Peachtree Meadows Subdivision is situated on a 140.50-acre tract of land (i.e. *Tract 5 of the J. R. Johnson Survey, Abstract No. 128; Tract 3 of the G. Wells Survey, Abstract No. 219*) that is generally located on the southside of Mims Road west of the intersection of Mims Road and National Drive. Phase 1 of the Peachtree Meadows Subdivision was approved for a *Final Plat [Case No. P2024-001]* and a *PD Site Plan [Case No. SP2024-001]* in accordance with the submittal schedule contained in the Planned Development District ordinance. As part of this site plan application, the applicant has submitted a site plan, landscape plan, photometric plan, and building elevations for the proposed amenity center.

The site plan submitted by the applicant indicates a restroom building, three (3) shade structures, a swimming pool, and a playground will be constructed on the subject property. In addition, the site plan details the location of all sidewalks and all fence types associated with the development. The landscape plan shows that all of the required landscaping as stipulated by the Planned Development District ordinance will be provided, and that the pool equipment will be screened in accordance with the requirements of Article 08, *Landscape and Fence Standards*, of the Unified Development Code (UDC). The proposed building elevations conform to the material and roof pitch requirements stipulated by the Planned Development District ordinance. The submitted site plan, landscape plan, photometric plan, and building elevations all conform to the applicable technical requirements contained in Planned Development District 101 (PD-101) and the Unified Development Code (UDC). Since the proposed site plan conforms to the technical requirements, this case is being placed on the consent agenda. Should the Planning and Zoning Commission have any questions concerning the applicant's request, staff and the applicant will be available at the September 10, 2024 Planning and Zoning Commission meeting.





# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

### STAFF USE ONLY

PLANNING & ZONING CASE NO. \_\_\_\_\_

**NOTE:** THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: \_\_\_\_\_

CITY ENGINEER: \_\_\_\_\_

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

#### PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) <sup>1</sup>
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- FINAL PLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- REPLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

#### SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

#### ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) <sup>1 & 2</sup>
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) <sup>1</sup>

#### OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) <sup>2</sup>

#### NOTES:

<sup>1</sup>: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.  
<sup>2</sup>: A ~~\$1,000.00~~ FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

### PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS **Amenity Center within Peachtree Meadows**

SUBDIVISION **Peachtree Meadows**

LOT

**12**

BLOCK

**L**

GENERAL LOCATION **Chastain Street adjacent to Northlake Road**

### ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING **Single Family Residential**

CURRENT USE

**Private Recreation Center**

PROPOSED ZONING **Single Family Residential**

PROPOSED USE

**Private Recreational Center**

ACREAGE **1.06**

LOTS [CURRENT]

**1**

LOTS [PROPOSED]

**1**

**SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

### OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER **Qualico Developement (U.S.), INC**

APPLICANT **Johnson Volk Consulting**

CONTACT PERSON **Kyle Tressler**

CONTACT PERSON **Cody Johnson**

ADDRESS **6950 TPC Drive, Suite 350**

ADDRESS **704 Central Parkway East, Suite 1200**

CITY, STATE & ZIP **McKinney, Texas 75070**

CITY, STATE & ZIP **Plano, TX 75074**

PHONE **469-659-6152**

PHONE **972-201-3100**

E-MAIL **kyle.tressler@qualico.com**

E-MAIL **cody.johnson@johnsonvolk.com**

### NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Kyle Tressler [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT, AND THE APPLICATION FEE OF \$271.20 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 6th DAY OF August, 2024 BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

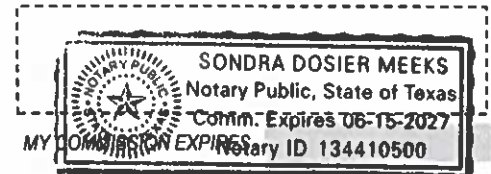
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 6th DAY OF August, 2024

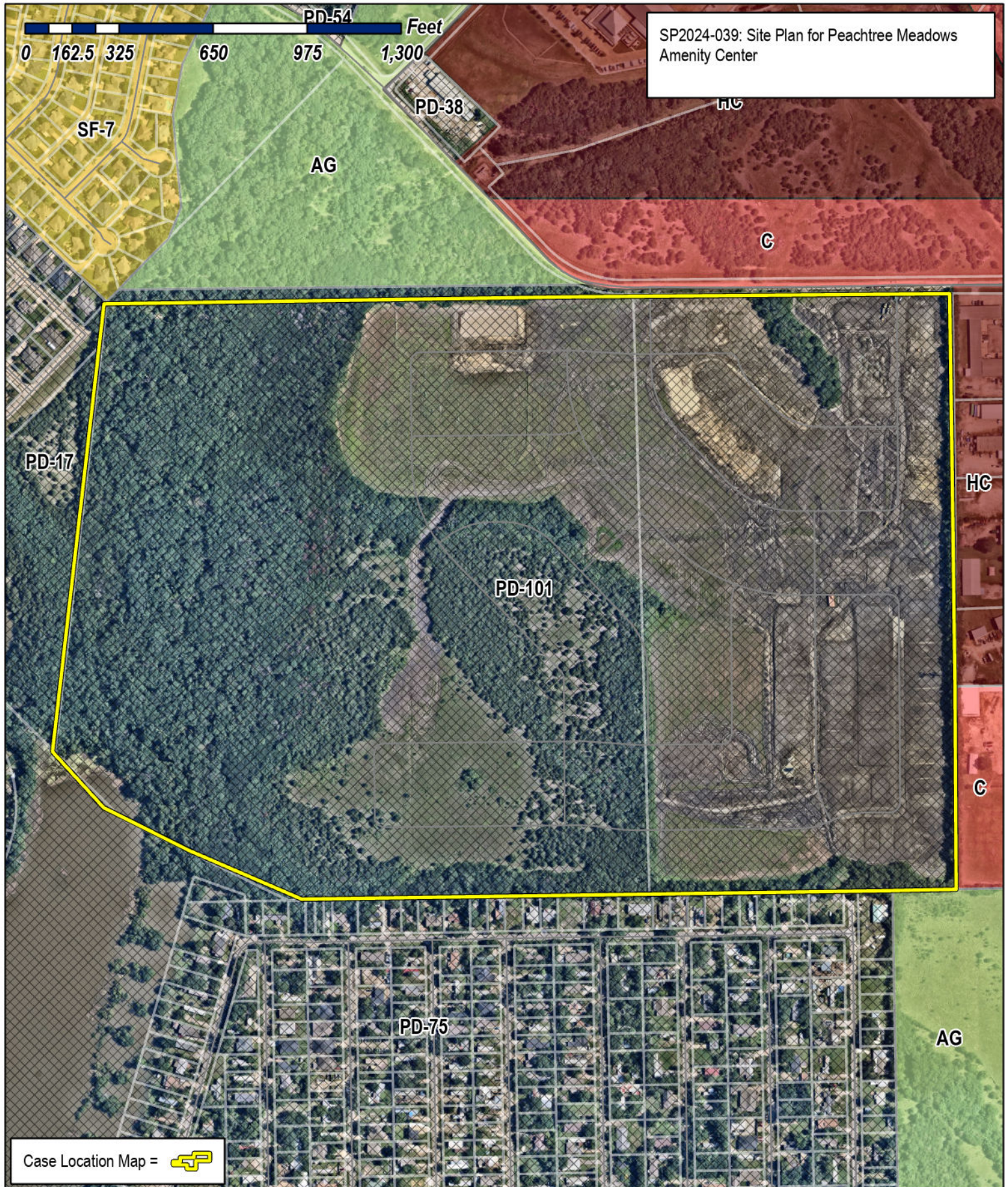
OWNER'S SIGNATURE

*[Signature]*

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

*[Signature]* **Sondra Dosier Meeks**





SP2024-039: Site Plan for Peachtree Meadows Amenity Center

Case Location Map = 

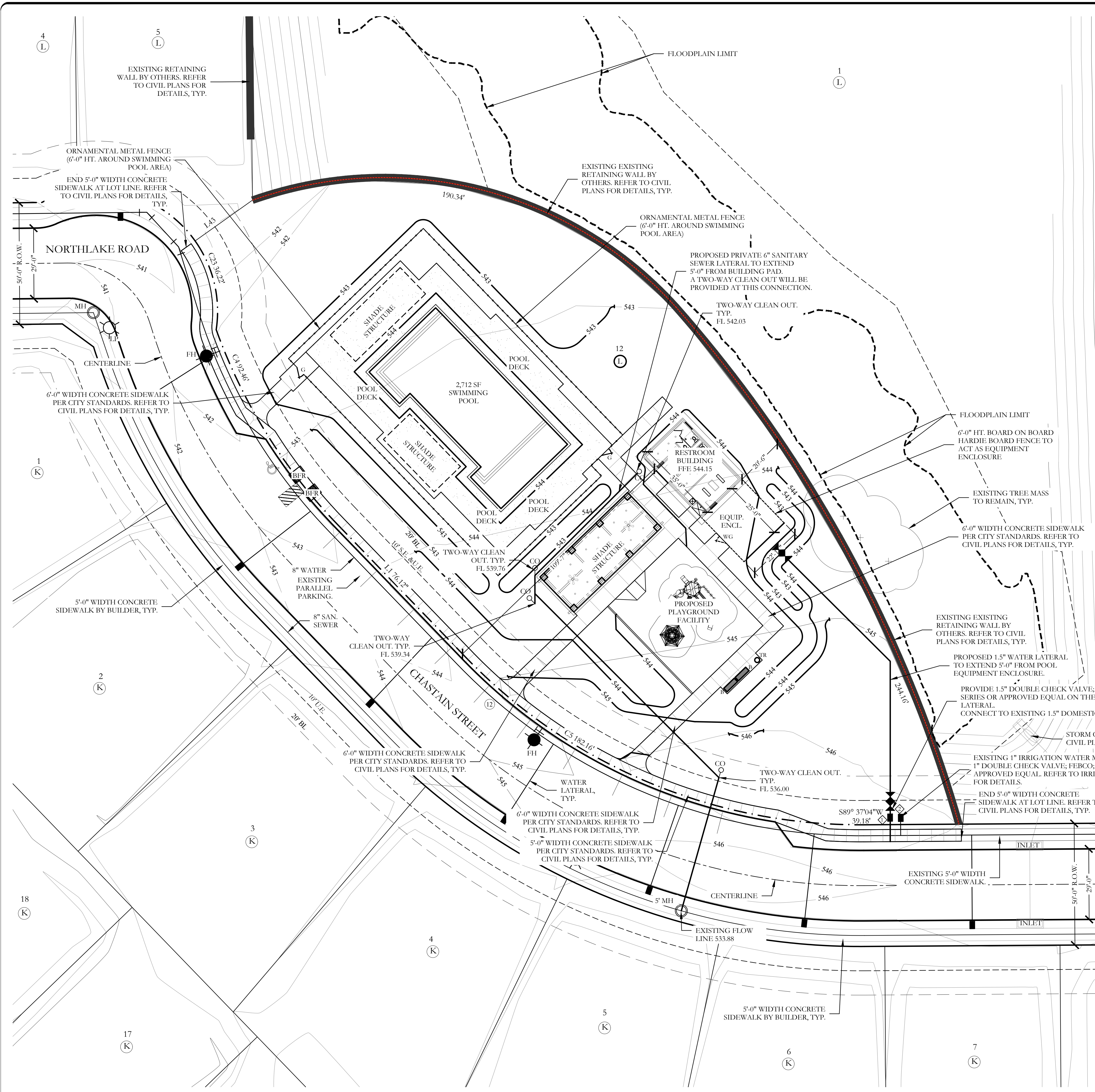


# City of Rockwall

Planning & Zoning Department  
 385 S. Goliad Street  
 Rockwall, Texas 75087  
 (P): (972) 771-7745  
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





### LEGEND

(12)	EXISTING PARKING COUNT		EXISTING 1.5" DOMESTIC WATER METER
BFR	BARRIER FREE RAMP		EXISTING 1" IRRIGATION WATER METER
FH	EXISTING FIRE HYDRANT		ORNAMENTAL METAL FENCE (6'-0" HT. AROUND SWIMMING POOL AREA)
MH	EXISTING SANITARY SEWER MANHOLE		1 - 4'-0" WIDTH SELF-LATCHING, SELF-CLOSING METAL GATE
	EXISTING WATER MAIN W/ VALVE		1 - 4'-0" WIDTH SELF-LATCHING, SELF-CLOSING WOODEN GATE
	EXISTING SANITARY SEWER		6'-0" HT. HARDIE BOARD FENCE TO ACT AS POOL EQUIPMENT AND TRASH TOTE ENCLOSURE
	EXISTING STORM		EXISTING RETAINING WALL REFER TO CIVIL PLANS TYP.
	EXISTING CURB INLET		6'-0" BENCH
	RIGHT-OF-WAY		TRASH RECEPTACLE
LP	LIGHT POLE		PROPOSED CONTOUR INTERVAL
---	EXISTING CONTOUR INTERVAL		PROPOSED 42' HT. ORNAMENTAL METAL HANDRAIL AT OP. RETAINING WALL
FFE 544.15	FINISHED FLOOR ELEVATION		

**APPROVED:**  
 I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the \_\_\_ day of \_\_\_, 20\_\_.

WITNESS OUR HANDS, this \_\_\_ day of \_\_\_, 20\_\_.

\_\_\_\_\_  
 Planning & Zoning Commission, Chairman

\_\_\_\_\_  
 Director of Planning and Zoning

### WATER METER SCHEDULE

METER ID NUMBER	WATER SERVICE SIZE	WATER METER SIZE	METER DOM	METER IRR	SAN. SERVICE SIZE
1	1.5"	1.5"	X		6"
2	1"	1"		X	

### SITE INFORMATION

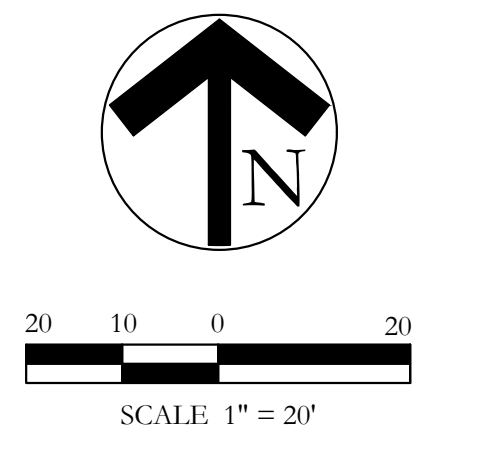
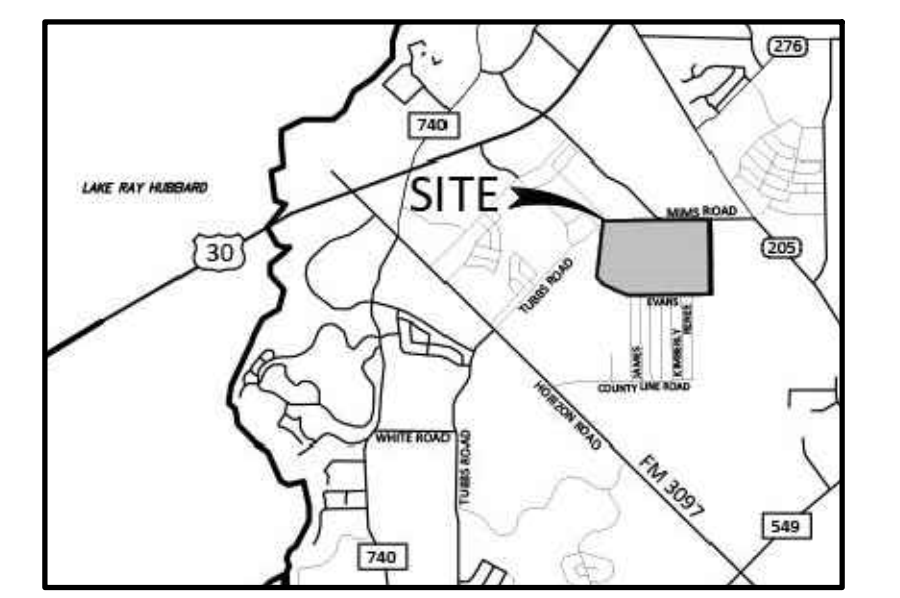
SINGLE FAMILY RESIDENTIAL  
 PROPOSED USE: PRIVATE RECREATION CENTER  
 LAND AREA: 1.06 ACRES  
 46,211.00 SQ. FT.

BUILDING AREA: 792.00 SQUARE FEET  
 BUILDING HEIGHT: 20'-3" (1 STORY)

FLOOR TO AREA: 0.0173 [792/46,211]  
 LOT COVERAGE: 1.71%

TOTAL IMPERVIOUS SURFACE: 15,147.08 SF  
 PROPOSED IMPERVIOUS RATIO: 0.3277 OR 32.77%  
 INTERIOR LANDSCAPE PROVIDED: 31,063.92 SF

POOL DECK SURFACE: 4,884.00 SF



### SITE PLAN PEACHTREE MEADOWS PHASE I LOT 12, BLOCK L ~AMENITY CENTER~

1.06 ACRES SITUATED IN THE  
 G. WELLS SURVEY,  
 ABSTRACT NO. 219 AND  
 J.R. JOHNSTON SURVEY, ABSTRACT NO. 128  
 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

- ### SITE PLAN NOTES:
- NO 100 YEAR FLOOD PLAIN EXISTS ON PROPERTY.
  - FOR ALL BARRIER FREE RAMPS NOTED ON PLAN, REFERENCE THE CITY OF ROCKWALL STANDARD CONSTRUCTION DETAILS.
  - ALL PARKING ON SITE IS EXISTING.
  - THE PERIMETER FENCING SHALL BE 6'-0" HT. ORNAMENTAL METAL FENCE.
  - THE POOL EQUIPMENT FENCING SHALL BE 6'-0" HT. BOARD ON BOARD HARDIE BOARD FENCE.
  - ALL SIDEWALK PAVING SHOWN ON THESE PLANS SHALL BE MAINTAINED BY THE HOA.



**OWNER / DEVELOPER:**  
 QUALICO DEVELOPMENT (U.S.), INC  
 6950 TPC DRIVE, SUITE 350  
 MCKINNEY, TEXAS 75070  
 CONTACT: KYLE TRESSLER

**LANDSCAPE ARCHITECT/CIVIL ENGINEER:**  
 JOHNSON VOLK CONSULTING  
 704 CENTRAL PARKWAY EAST, SUITE 1200  
 PLANO, TEXAS 75074  
 PH. (972) 201-3100  
 CONTACT: CODY JOHNSON, RLA, ASLA, LI

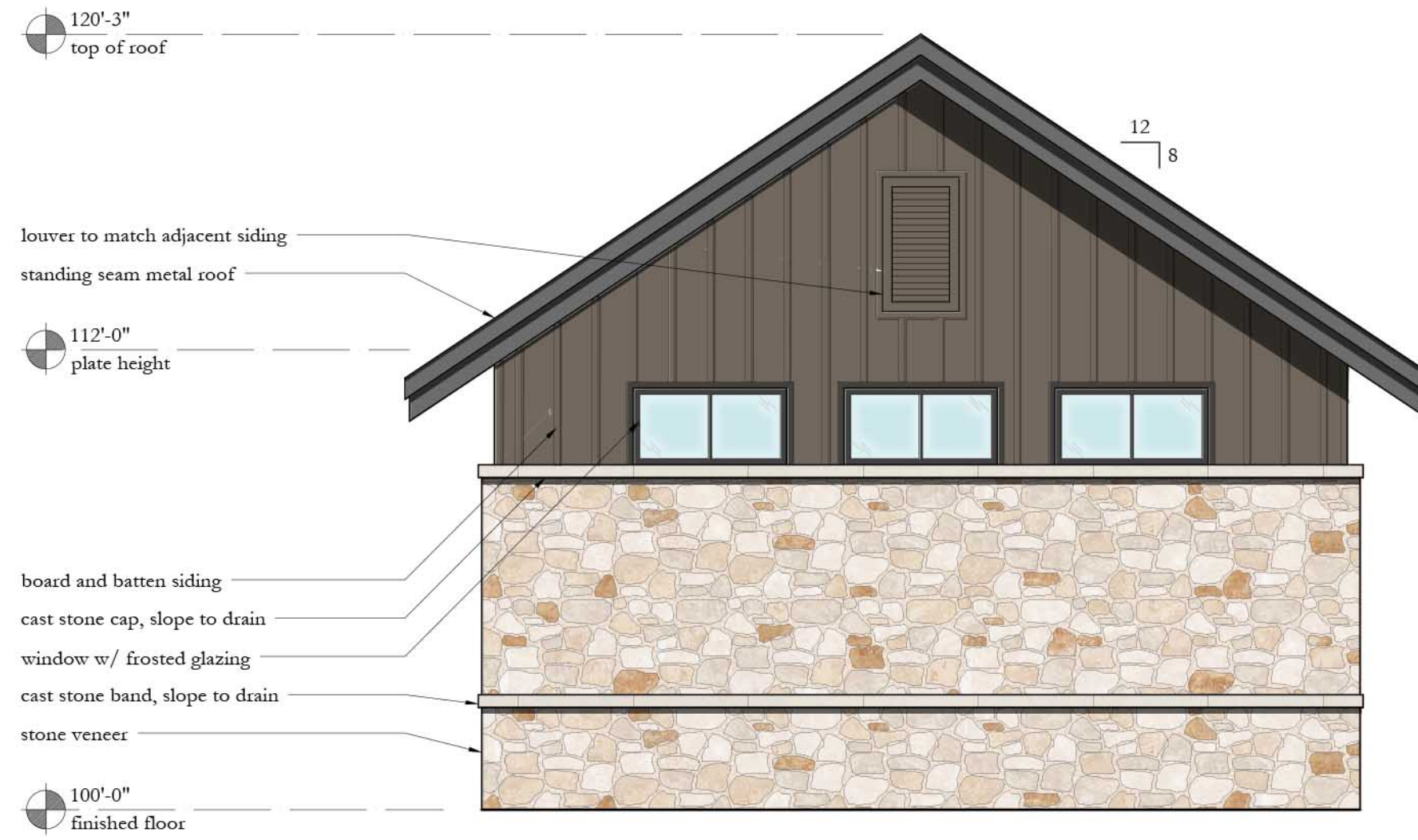
CITY CASE NUMBER TBD PEACHTREE MEADOWS AMENITY CENTER

**APPROVED:**  
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the \_\_\_\_ day of \_\_\_\_\_, \_\_\_\_.

WITNESS OUR HANDS, this \_\_\_\_ day of \_\_\_\_\_, \_\_\_\_.

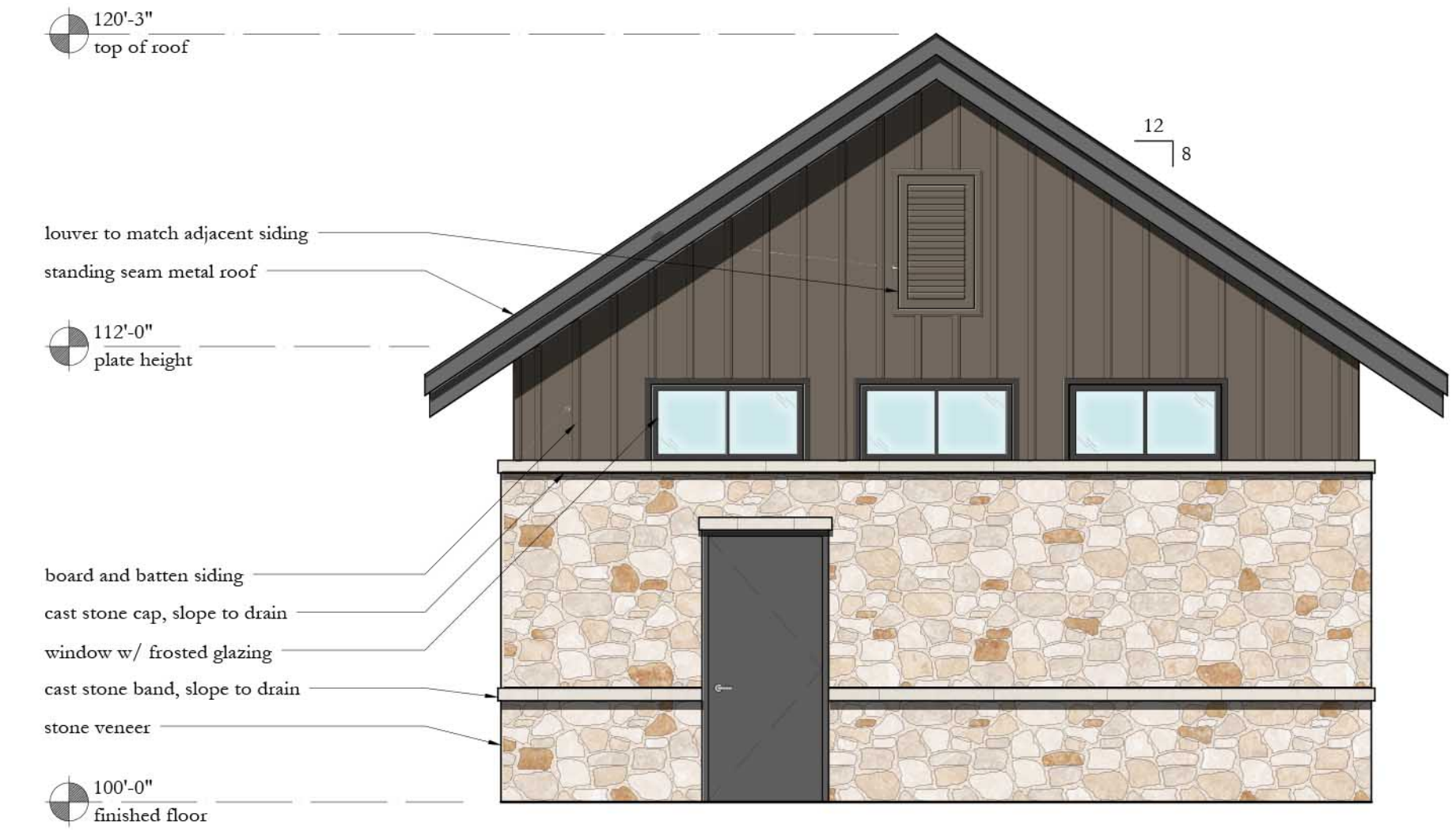
\_\_\_\_\_  
Planning & Zoning Commission, Chairman

\_\_\_\_\_  
Director of Planning and Zoning



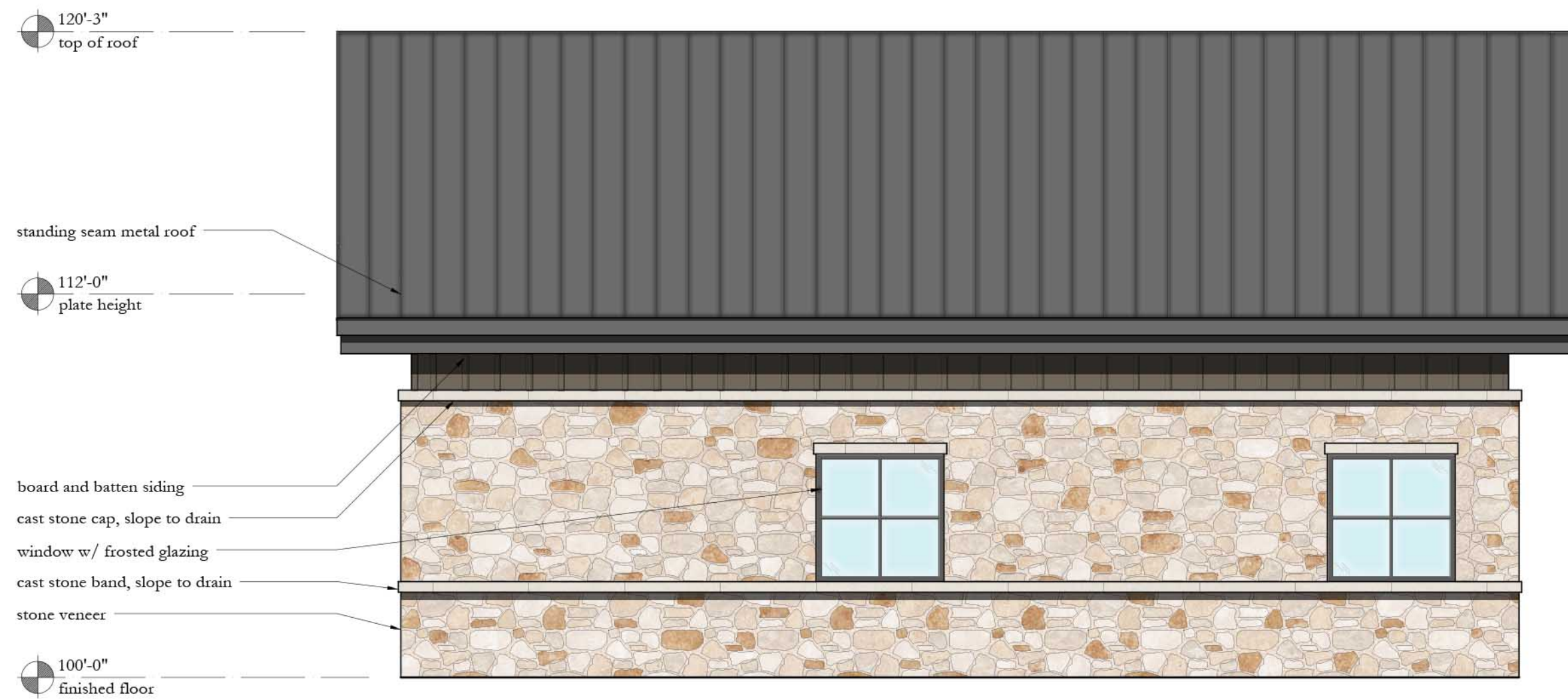
5 WEST ELEVATION  
ELEVATION

SCALE: 1/4"=1'-0"



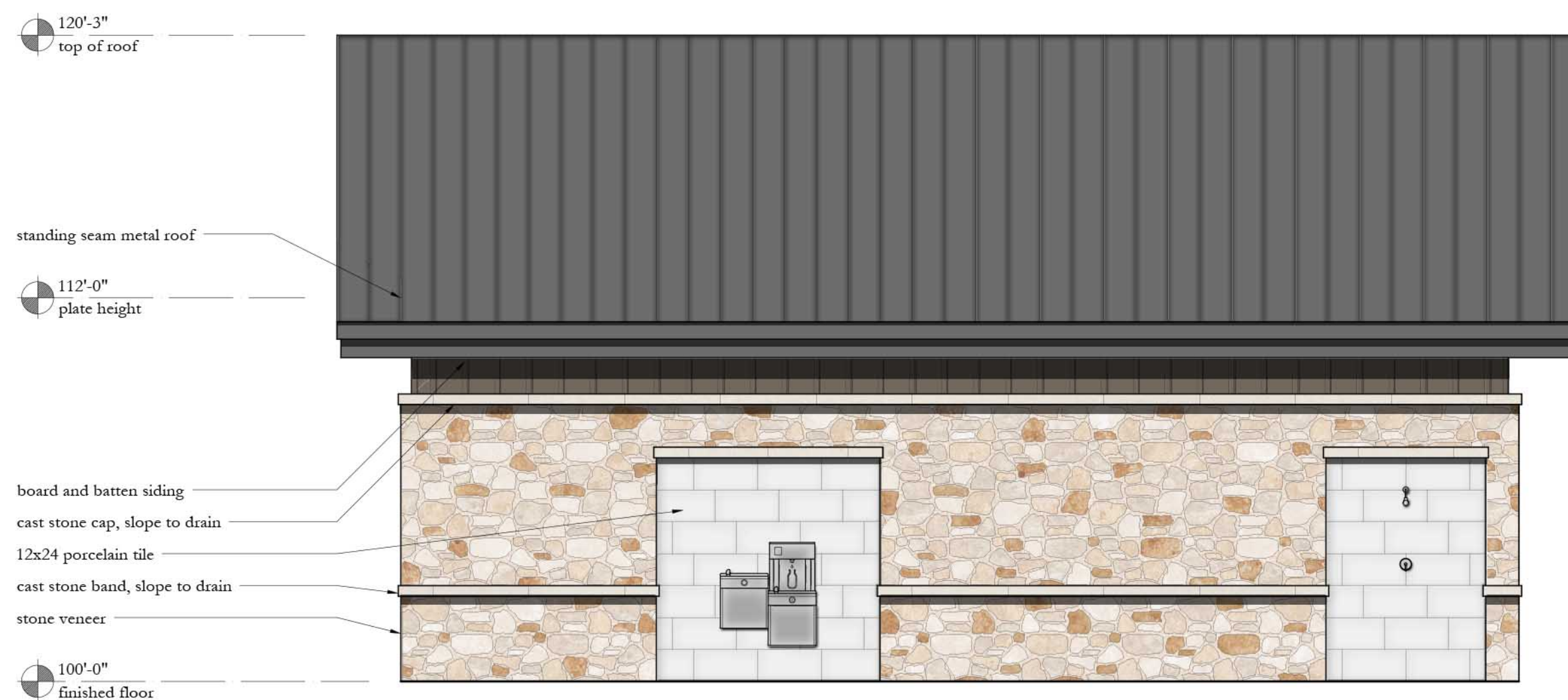
4 EAST ELEVATION  
ELEVATION

SCALE: 1/4"=1'-0"



3 NORTH ELEVATION  
ELEVATION

SCALE: 1/4"=1'-0"



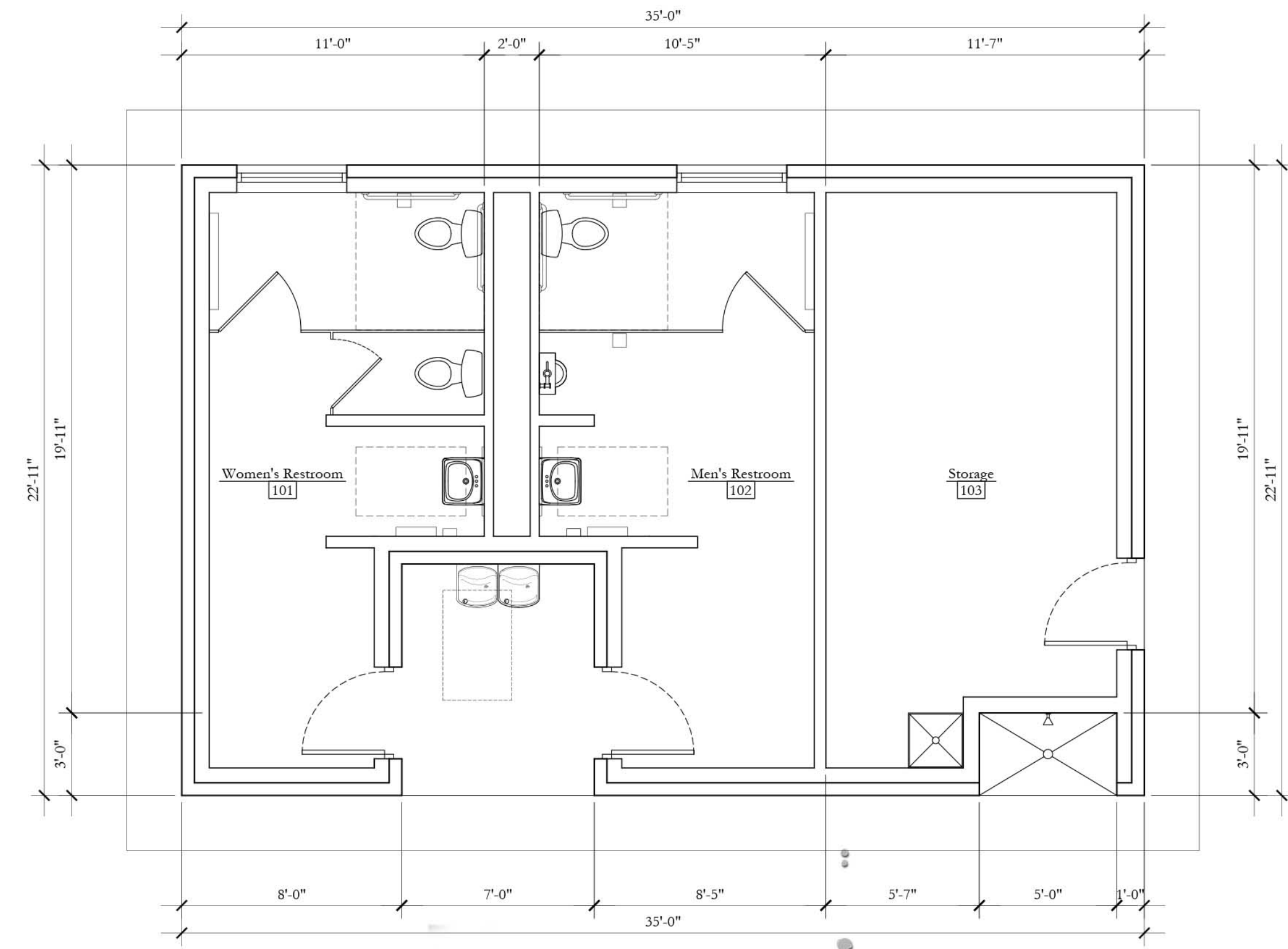
2 SOUTH ELEVATION  
ELEVATION

SCALE: 1/4"=1'-0"

**BUILDING MATERIAL CALCULATIONS**

Material	North	Percent	South	Percent	East	Percent	West	Percent
TOTAL SQ. FT.	354 S.F.	-	354 S.F.	-	347 S.F.	-	347 S.F.	-
PRIMARY MATERIAL TOTALS	322 S.F.	100.00%	270 S.F.	76.27%	292 S.F.	100.00%	316 S.F.	100%
STONE VENEER	257 S.F.	79.81%	207 S.F.	58.47%	167 S.F.	57.19%	191 S.F.	60.44%
CAST STONE	26 S.F.	8.08%	24 S.F.	6.78%	15 S.F.	5.14%	15 S.F.	4.75%
BOARD AND BATTEN FIBER CEMENT SIDING	39 S.F.	12.11%	39 S.F.	11.02%	110 S.F.	37.67%	110 S.F.	34.81%
SECONDARY MATERIALS	-	-	-	-	-	-	-	-
TILE AT SHOWER/DRINKING FOUNTAINS	-	-	84 S.F.	23.73%	-	-	-	-
DOORS/WINDOWS/TRIM (COLOR TO MATCH ADJACENT MATERIALS)	32 S.F.	-	-	-	55 S.F.	-	31 S.F.	-
STANDING SEAM METAL ROOF	-	-	-	-	-	-	-	-

NOTE: ALUMINUM GUTTERS AND DOWNSPOUTS ARE TO BE PROVIDED BY CONTRACTOR AND SHALL MATCH ADJACENT BUILDING MATERIALS



1 FLOOR PLAN  
PLAN

SCALE: 1/4"=1'-0"

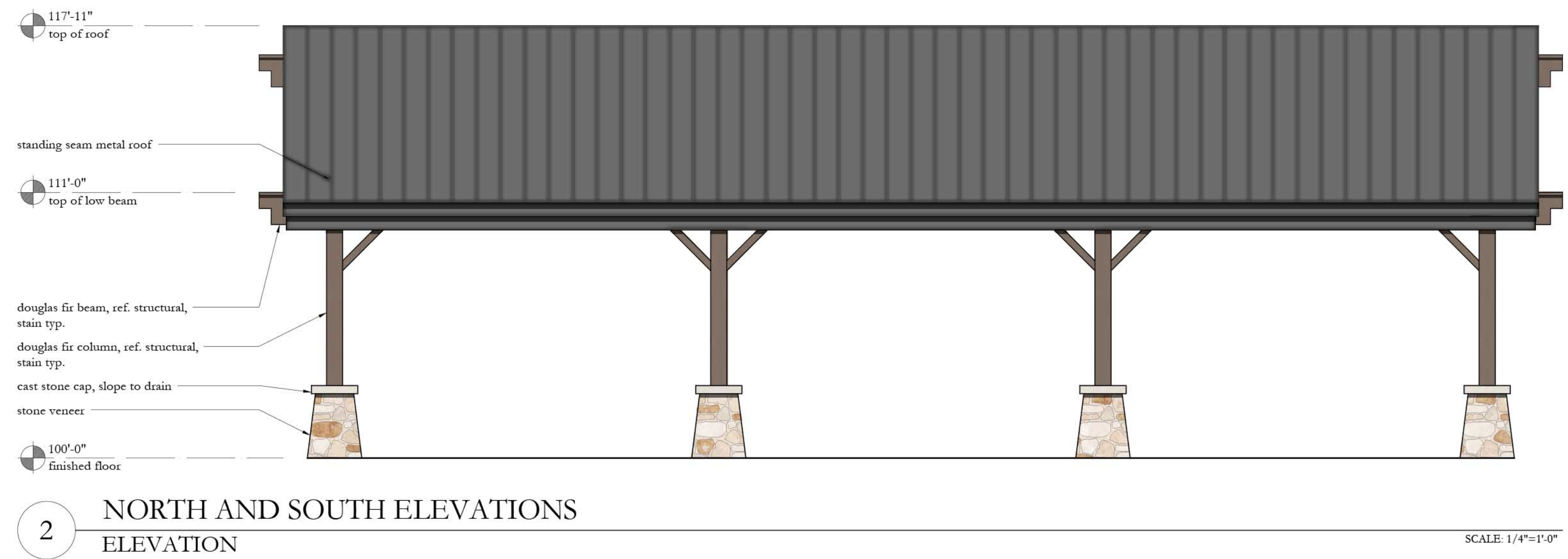
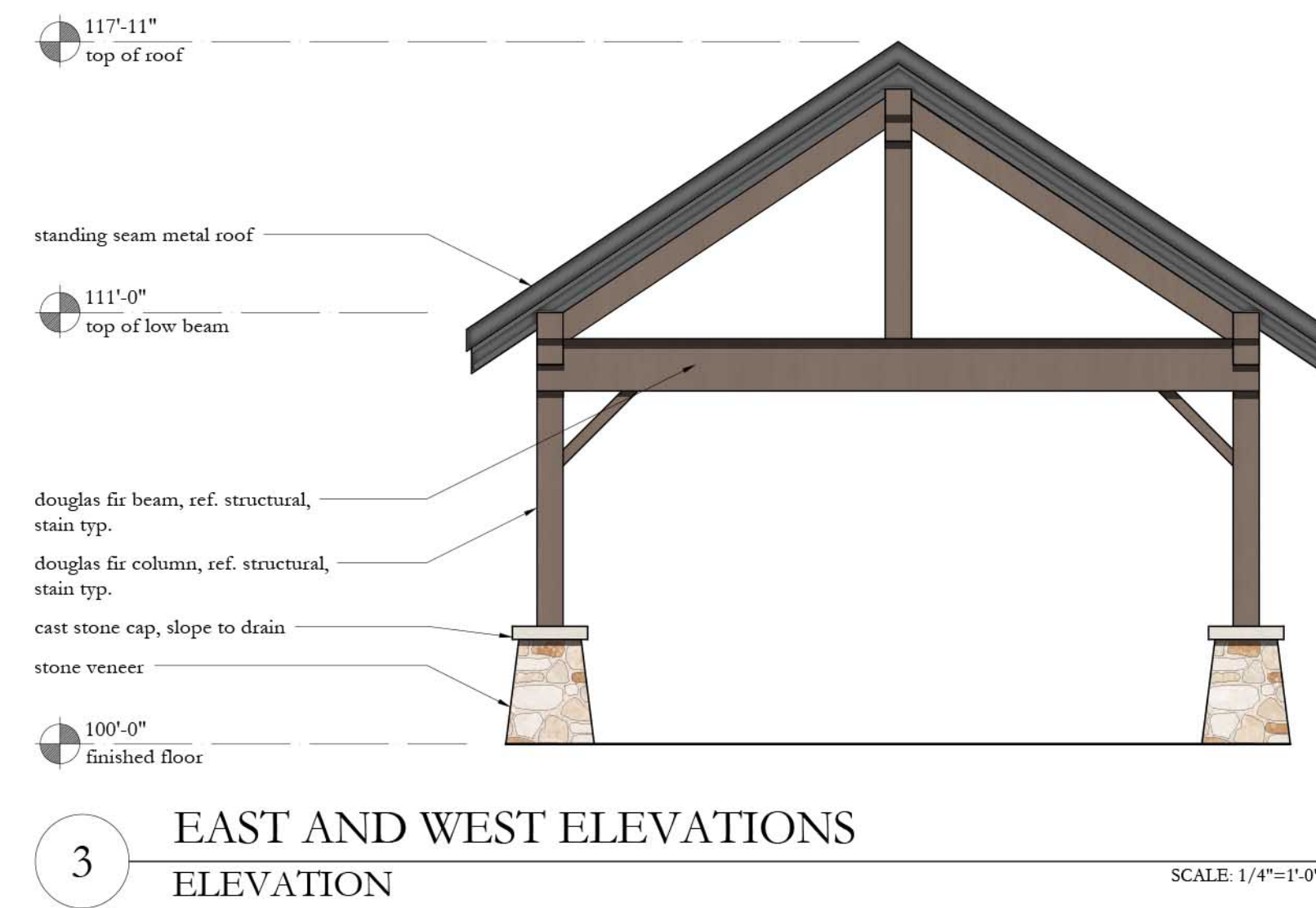
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WITNESS OUR HANDS, this \_\_\_ day of \_\_\_, \_\_\_.

\_\_\_\_\_  
 Planning & Zoning Commission, Chairman

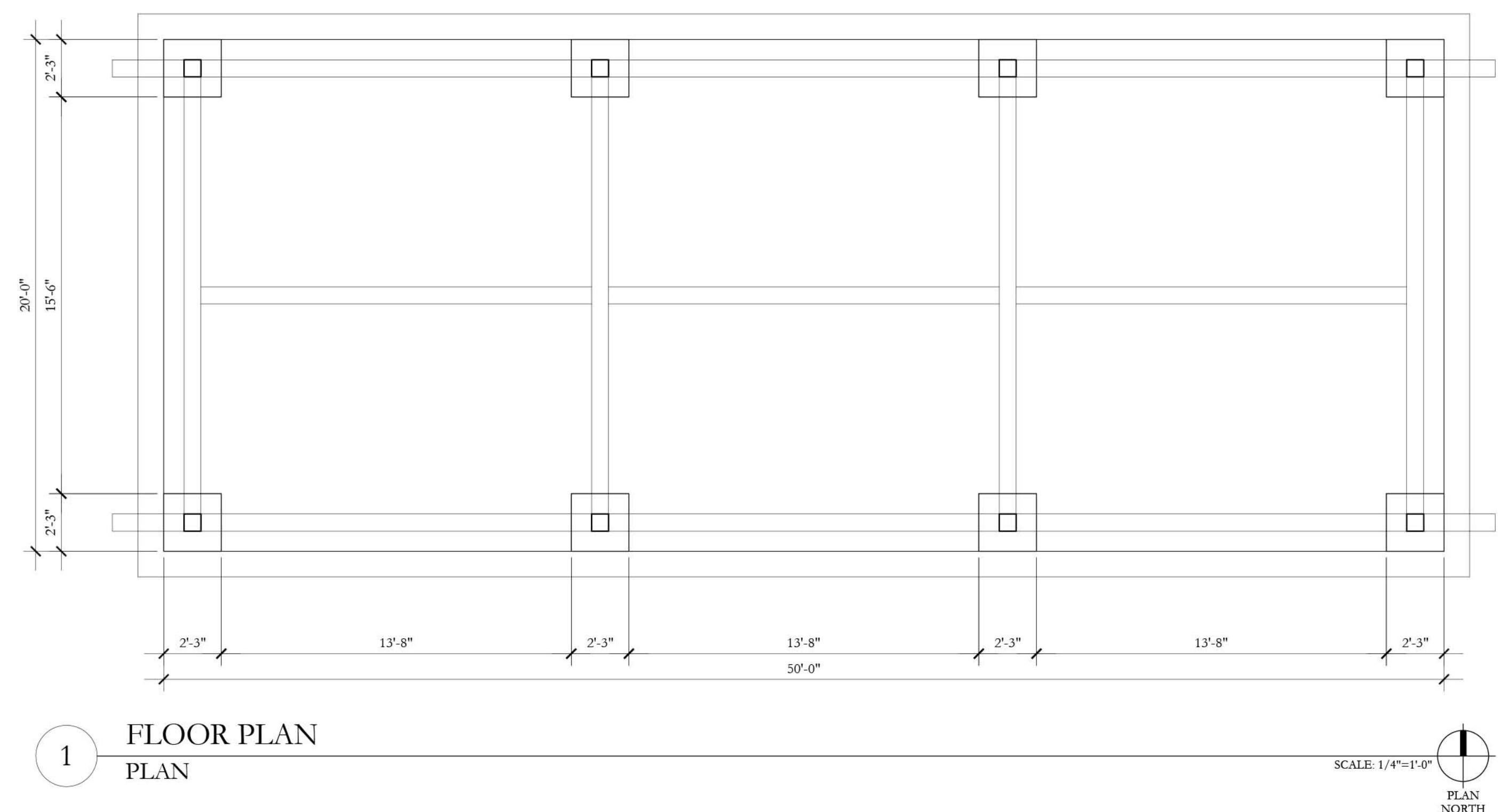
\_\_\_\_\_  
 Director of Planning and Zoning

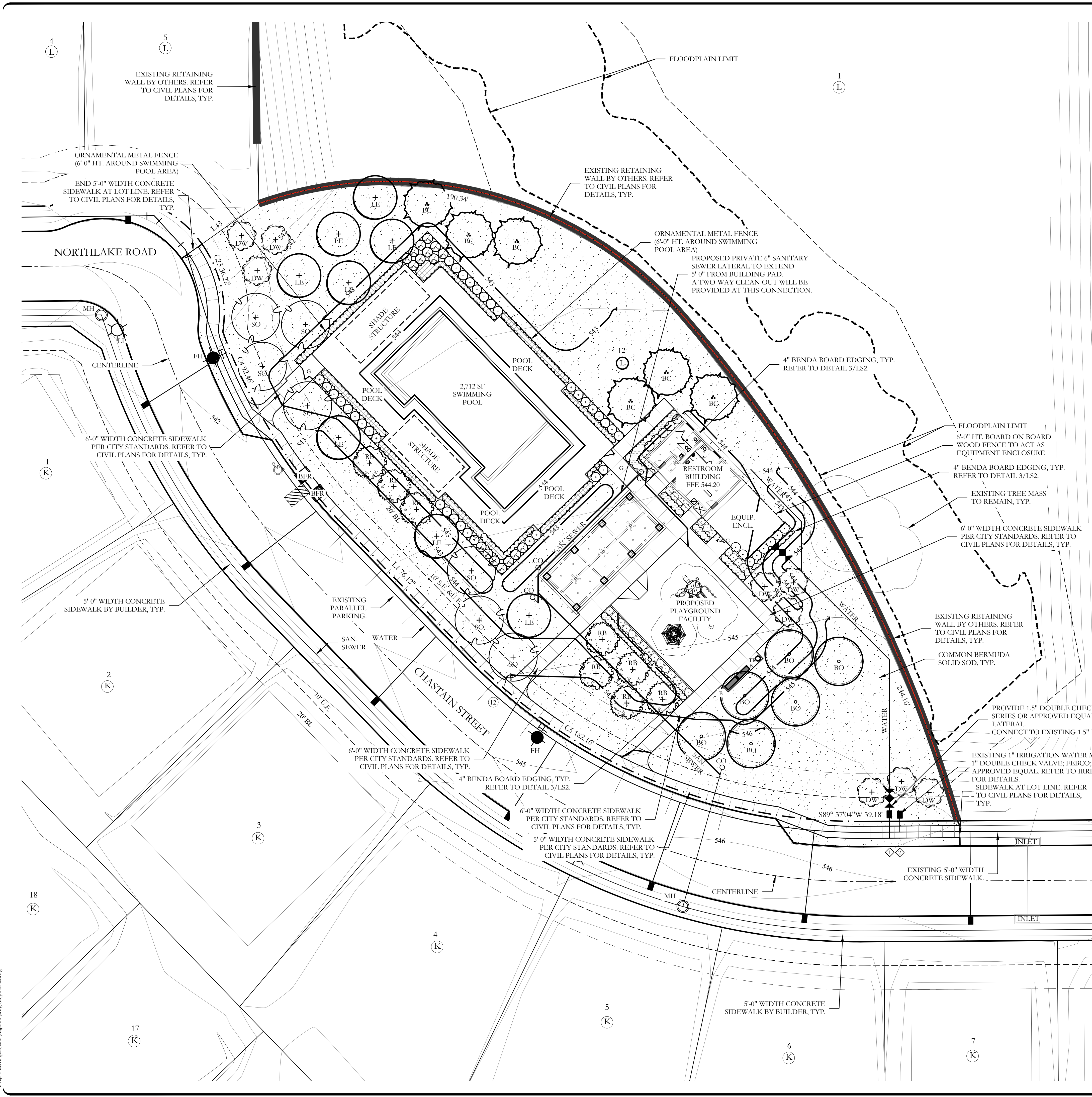


**BUILDING MATERIAL CALCULATIONS**

Material	North	Percent	South	Percent	East	Percent	West	Percent
TOTAL SQ. FT.	24 S.F.	-	24 S.F.	-	12 S.F.	-	12 S.F.	-
PRIMARY MATERIAL TOTALS	24 S.F.	100.00%	24 S.F.	100.00%	12 S.F.	100.00%	12 S.F.	100.00%
STONE VENEER	22 S.F.	91.67%	22 S.F.	91.67%	11 S.F.	91.67%	11 S.F.	91.67%
CAST STONE	2 S.F.	8.33%	2 S.F.	8.33%	1 S.F.	8.33%	1 S.F.	8.33%
STANDING SEAM METAL ROOF	-	-	-	-	-	-	-	-

NOTE: ALUMINUM GUTTERS AND DOWNSPOUTS ARE TO BE PROVIDED BY CONTRACTOR AND SHALL MATCH ADJACENT BUILDING MATERIALS





PLANT LEGEND					
SYMBOL	KEY	COMMON NAME	SCIENTIFIC NAME	SIZE	SPACING
	SO	SHUMARD OAK	QUERCUS SHUMARDII	4" CALIPER	AS SHOWN
	BO	BUR OAK	QUERCUS MACROCARPA	4" CALIPER	AS SHOWN
	LE	LACEBARK ELM	ULMUS PARVIFOLIA	4" CALIPER	AS SHOWN
	BC	BALD CYPRESS	TAXODIUM DISTICHUM	4" CALIPER	AS SHOWN
	DW	DESERT WILLOW	CHILOPSIS LINEARIS	2" CALIPER	AS SHOWN
	RB	TEXAS REDBUD	CERCIS CANADENSIS VAR. TEXENSIS	2" CALIPER	AS SHOWN
		STANDARD BURFORD HOLLY	ILEX CORNUTA 'BURFORDII'	7 GALLON	48" O.C.
		EDWARD GOUCHER ABELIA	ABELIA GRANDIFLORA 'EDWARD GOUCHER'	7 GALLON	48" O.C.
		PURPLE DIAMOND LOROPETALUM	LOROPETALUM CHINENSE 'PURPLE DIAMOND'	7 GALLON	48" O.C.
		RUSSIAN SAGE	PEROVSKIA ATRIPLICIFOLIA	5 GALLON	36" O.C.
		MEXICAN FEATHER GRASS	NASSELLA TENUSSIMA	1 GALLON	18" O.C.
		LIRIOPE GRASS	LIRIOPE MUSCARI	1 GALLON	18" O.C.
		COMMON BERMUDA GRASS	CYNODON DACTYLON	SQUARE FEET	SOLID SOD

NOTE: IRRIGATION WILL MEET REQUIREMENTS OF UDC.

ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OR ACCURACY OF DESIGN.

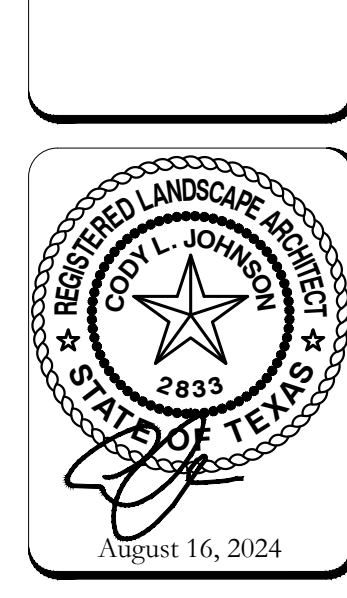
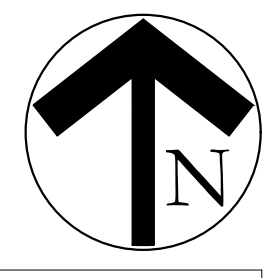
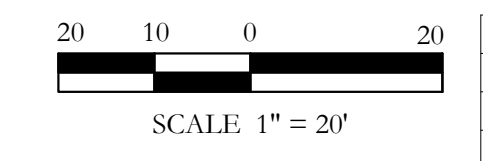
SITE INFORMATION	
SINGLE FAMILY RESIDENTIAL	PROPOSED USE: PRIVATE RECREATION CENTER
LAND AREA:	1.06 ACRES 46,211.00 SQ. FT.
BUILDING AREA:	792.00 SQUARE FEET
BUILDING HEIGHT:	20'-3" (1 STORY)
FLOOR TO AREA:	0.017:1 [792/46,211]
LOT COVERAGE:	1.71%
TOTAL IMPERVIOUS SURFACE:	15,147.08 SF
PROPOSED IMPERVIOUS RATIO:	0.3277 OR 32.77%
INTERIOR LANDSCAPE PROVIDED:	31,063.92 SF
POOL DECK SURFACE:	4,884.00 SF

**APPROVED:**  
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the \_\_\_ day of \_\_\_, 2024.

WITNESS OUR HANDS, this \_\_\_ day of \_\_\_, 2024.

\_\_\_\_\_  
Planning & Zoning Commission, Chairman

\_\_\_\_\_  
Director of Planning and Zoning



PLANT LIST

KEY	ESTIMATED QUANTITY	COMMON NAME	SCIENTIFIC NAME	SIZE	SPACING	REMARKS
SO	7	SHUMARD OAK	QUERCUS SHUMARDII	4" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM BRANCHING HEIGHT AT 6'-0"; MINIMUM 10'-0" OVERALL HEIGHT.
BO	6	BUR OAK	QUERCUS MACROCARPA	4" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM BRANCHING HEIGHT AT 6'-0"; MINIMUM 10'-0" OVERALL HEIGHT.
LE	8	LACEBARK ELM	ULMUS PARVIFOLIA	4" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM BRANCHING HEIGHT AT 6'-0"; MINIMUM 10'-0" OVERALL HEIGHT.
BC	6	BALD CYPRESS	TAXODIUM DISTICHUM	4" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM BRANCHING HEIGHT AT 6'-0"; MINIMUM 10'-0" OVERALL HEIGHT.
DW	9	DESERT WILLOW	CHILOPSIS LINEARIS	2" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM 8'-0" OVERALL HEIGHT.
RB	8	TEXAS REDBUD	CERCIS CANADENSIS VAR. TEXENSIS	2" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM 8'-0" OVERALL HEIGHT.
	36	STANDARD BURFORD HOLLY	ILEX CORNUTA 'BURFORDII'	7 GALLON	48" O.C.	CONTAINER GROWN; FULL PLANT.
	17	EDWARD GOUCHER ABELIA	ABELIA GRANDIFLORA 'EDWARD GOUCHER'	7 GALLON	48" O.C.	CONTAINER GROWN; FULL PLANT.
	13	PURPLE DIAMOND LOROPETALUM	LOROPETALUM CHINENSE 'PURPLE DIAMOND'	7 GALLON	48" O.C.	CONTAINER GROWN; FULL PLANT.
	30	RUSSIAN SAGE	PEROVSKIA ATRIPPLICIFOLIA	5 GALLON	36" O.C.	CONTAINER GROWN; FULL PLANT.
	165	MEXICAN FEATHER GRASS	NASSELLA TENUISSIMA	1 GALLON	18" O.C.	CONTAINER GROWN; FULL PLANT.
	450	LIRIOPE GRASS	LIRIOPE MUSCARI	1 GALLON	18" O.C.	CONTAINER GROWN; FULL PLANT.
	28,870	COMMON BERMUDA GRASS	CYNODON DACTYLON	SQUARE FEET	SOLID SOD	MINIMUM 100% COVERAGE ALL AREAS SHOWN

GENERAL LANDSCAPE NOTES

INSPECTIONS:

- NO EXCAVATION SHALL OCCUR IN CITY R.O.W. WITHOUT A R.O.W. PERMIT--CONTACT THE PUBLIC WORKS DEPARTMENT.
- THE CONTRACTOR SHALL MARK ALL WATER LINES, SEWER LINES, AND TREE LOCATIONS PRIOR TO CALLING FOR ROW INSPECTION AND PERMIT.
- THE LANDSCAPE INSTALLATION SHALL COMPLY WITH APPROVED LANDSCAPE DRAWINGS PRIOR TO FINAL ACCEPTANCE BY THE CITY AND ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
- WATER METERS, CLEANOUTS AND OTHER APPURTENANCES, SHALL BE ACCESSIBLE, ADJUSTED TO GRADE, CLEARLY MARKED WITH FLAGGING AND COMPLIANT WITH PUBLIC WORKS DEPARTMENT STANDARDS PRIOR TO CALLING FOR FINAL LANDSCAPE AND ROW INSPECTIONS.

LANDSCAPE STANDARDS:

- PLANTINGS AND LANDSCAPE ELEMENTS SHALL COMPLY WITH THE CITY'S ENGINEERING DESIGN STANDARDS, PUBLIC ROW VISIBILITY REQUIREMENTS.
- UNLESS OTHERWISE SPECIFIED, TREES SHALL BE PLANTED NO LESS THAN 4' FROM CURBS, SIDEWALKS, UTILITY LINES, SCREENING WALLS AND OTHER STRUCTURES. THE CITY HAS FINAL APPROVAL FOR ALL TREE PLACEMENTS.
- A MINIMUM THREE FEET (3') RADIUS AROUND A FIRE HYDRANT MUST REMAIN CLEAR OF LANDSCAPE PURSUANT TO THE FIRE CODE.
- STREET TREES, WHERE REQUIRED, SHALL BE (10') MINIMUM FROM THE EDGE OF A STORM SEWER CURB INLET BOX AND THE EDGE OF THE ROOT BALL SHALL BE (4') MINIMUM FROM THE WATER METER.
- THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1-2004) SPECIFICATIONS SHALL GOVERN PLANT QUALIFICATIONS, GRADES, AND STANDARDS.
- TREE PLANTING SHALL COMPLY WITH DETAILS HEREIN AND THE INTERNATIONAL SOCIETY OF ARBORICULTURE (ISA) STANDARDS.
- A 2-3" LAYER OF MULCH SHALL BE PROVIDED AROUND THE BASE OF THE PLANTED TREE. THE MULCH SHALL BE PULLED BACK 4" FROM THE TRUNK OF THE TREE.
- TREE PITS SHALL BE TESTED FOR WATER PERCOLATION. IF WATER DOES NOT DRAIN OUT OF TREE PIT WITHIN 24-HOURS, THE TREE SHALL BE MOVED OR DRAINAGE SHALL BE PROVIDED.
- ALL BEDS TO HAVE 3" OF COMPOSTED SOIL, LIVING EARTH TECHNOLOGY, OR APPROVED EQUAL TILLED AND TURNED TO A DEPTH OF 8" MINIMUM.
- ALL PLANT BEDS SHALL BE TOP-DRESSED WITH A MINIMUM OF 3 INCHES OF HARDWOOD MULCH.
- NATIVE SITE TOPSOIL IS TO BE PROTECTED FROM EROSION OR STOCKPILED. NATIVE SITE TOPSOIL SHALL BE LABORATORY TESTED BY AN ACCREDITED LABORATORY AND AMENDED PER SAID LABORATORY'S RECOMMENDATIONS.

IRRIGATION STANDARDS:

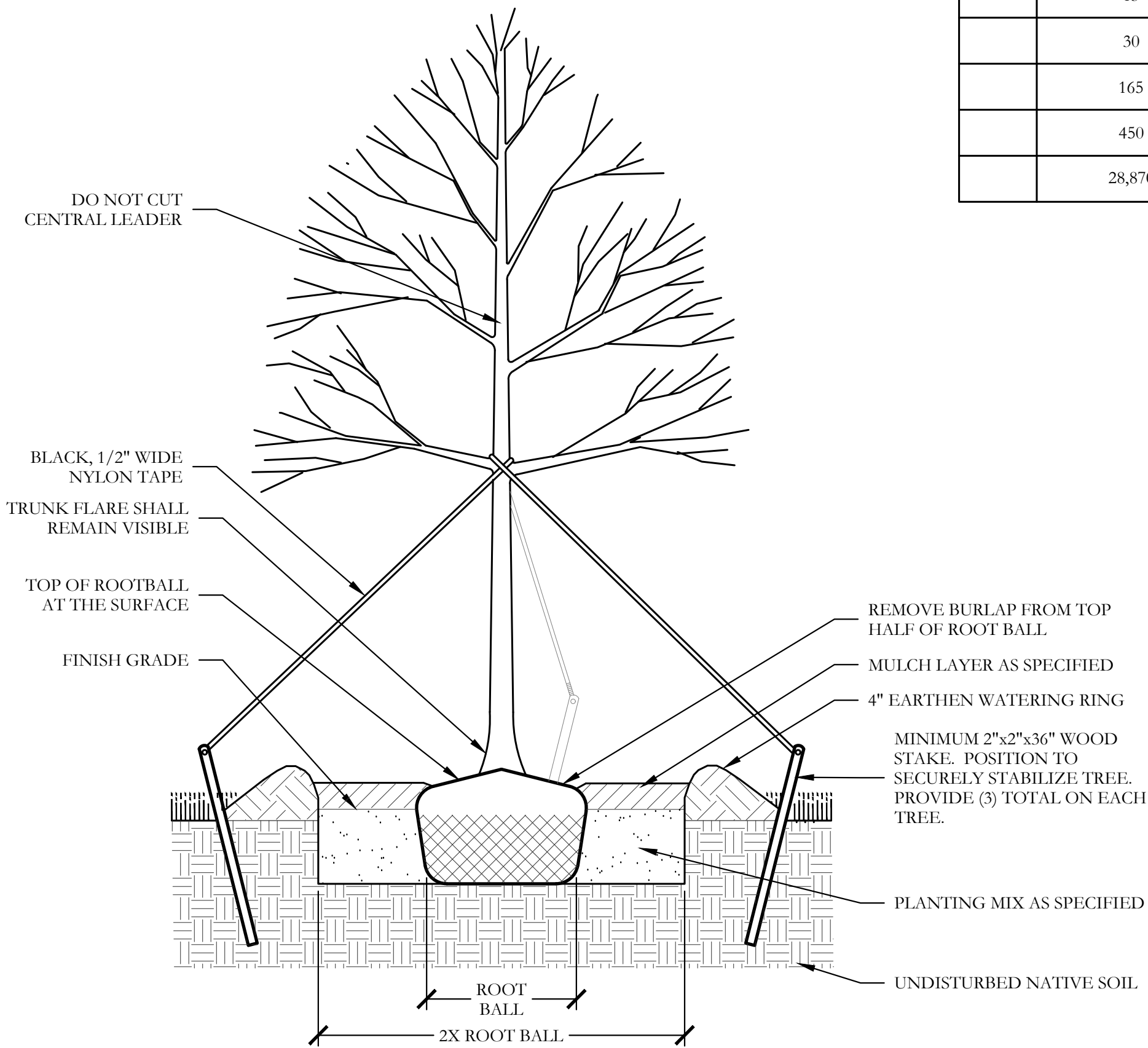
- ANY CHANGES TO THESE APPROVED IRRIGATION DRAWINGS SHALL BE AUTHORIZED BY THE CITY. CONTACT DEVELOPMENT SERVICES FOR AN IRRIGATION PERMIT PRIOR TO INSTALLING THE IRRIGATION SYSTEM.
- IRRIGATION OVER SPRAY ON STREETS AND WALKS IS PROHIBITED.
- MAINLINES, VALVES, OR CONTROL WIRES SHALL NOT BE LOCATED IN THE CITY'S ROW.
- ET IRRIGATION CONTROLLERS SHALL BE PROGRAMMED AND ADJUSTED TO NOT EXCEED THE LANDSCAPE WATER ALLOWANCE (LWA) PRIOR TO APPROVAL OF LANDSCAPE INSTALLATION.
- VALVES SHALL BE LOCATED A MINIMUM OF (3') AWAY FROM STORM SEWERS, AND SANITARY SEWER LINES AND 5 FEET FROM CITY FIRE HYDRANTS AND WATER VALVES.
- THE BORE DEPTH UNDER STREETS, DRIVE AISLES, AND FIRE LANES SHALL PROVIDE (2') OF CLEARANCE (MINIMUM).
- IRRIGATION HEADS THAT RUN PARALLEL AND NEAR PUBLIC WATER AND SANITARY SEWER LINES, SHALL BE FED FROM STUBBED LATERALS OR BULL-HEADS. A MINIMUM FIVE FOOT (5') SEPARATION IS REQUIRED BETWEEN IRRIGATION MAIN LINES AND LATERALS THAT RUN PARALLEL TO PUBLIC WATER AND SANITARY SEWER LINES.
- NO VALVES, BACKFLOW PREVENTION ASSEMBLIES, QUICK COUPLERS ETC. SHALL BE LOCATED CLOSER THAN 10' FROM THE CURB AT STREET OR DRIVE INTERSECTION.

MAINTENANCE STANDARDS:

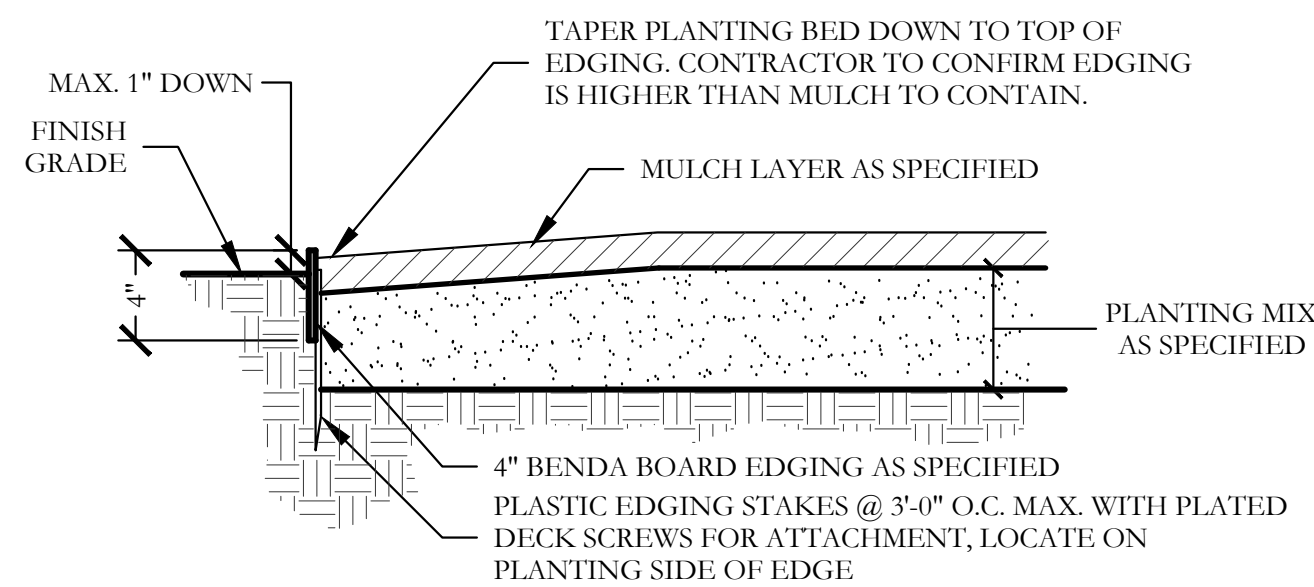
- THE OWNER SHALL BE RESPONSIBLE FOR THE ESTABLISHMENT, MAINTENANCE, AND VIGOR OF PLANT MATERIAL IN ACCORDANCE WITH THE DESIGN INTENT AND AS APPROPRIATE FOR THE SEASON OF THE YEAR.
- LANDSCAPE AND OPEN AREAS SHALL BE FREE OF TRASH, LITTER AND WEEDS.
- NO PLANT MATERIAL SHALL BE ALLOWED TO ENCRUCH ON R.O.W., SIDEWALKS OR EASEMENTS TO THE EXTENT THAT VISION OR ROUTE OF TRAVEL FOR VEHICULAR, PEDESTRIAN, OR BICYCLE TRAFFIC IS IMPEDED.
- TREE MAINTENANCE SHALL BE IN ACCORDANCE WITH THE STANDARDS OF THE INTERNATIONAL SOCIETY OF ARBORICULTURE.
- TREE STAKING MATERIALS, IF USED, SHALL BE REMOVED AFTER (1) GROWING SEASON, NO MORE THAN (1) YEAR AFTER INSTALLATION (STEEL TREE STAKES, WIRES, AND HOSES ARE PROHIBITED).

TREE PROTECTION NOTES:

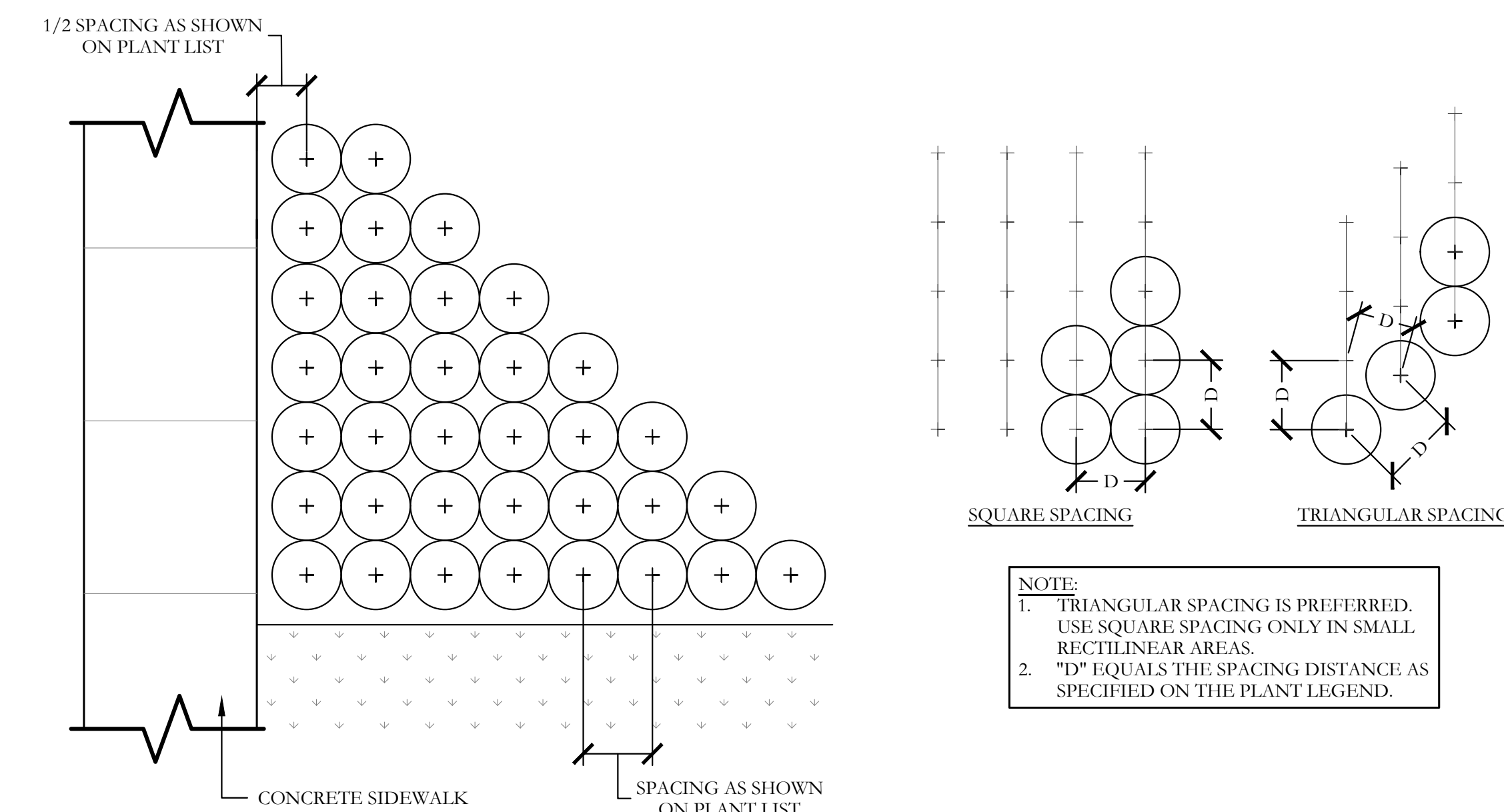
- CONTACT DEVELOPMENT SERVICES FOR A TREE REMOVAL PERMIT PRIOR TO REMOVAL OR TRANSPLANTING OF ANY TREES.
- ALL TREES WHICH ARE TO REMAIN ON SITE SHALL BE PROTECTED WITH A (4') TALL BRIGHTLY COLORED PLASTIC FENCE, OR SILT FENCE, PLACED AT THE DRIP LINE OF THE TREES.
- PRIOR TO THE PRE-CONSTRUCTION MEETING OR OBTAINING A GRADING PERMIT, ALL TREE MARKINGS AND PROTECTIVE FENCING SHALL BE INSTALLED BY THE OWNER AND BE INSPECTED BY DEVELOPMENT SERVICES.
- NO EQUIPMENT SHALL BE CLEANED, OR HARMFUL LIQUIDS DEPOSITED WITHIN THE LIMITS OF THE ROOT ZONE OF TREES WHICH REMAIN ON SITE.
- NO SIGNS, WIRES, OR OTHER ATTACHMENTS SHALL BE ATTACHED TO ANY TREE TO REMAIN ON SITE.
- VEHICULAR AND CONSTRUCTION EQUIPMENT SHALL NOT PARK OR DRIVE WITHIN THE LIMITS OF THE DRIP LINE.
- GRADE CHANGES IN EXCESS OF 3 INCHES (CUT OR FILL) SHALL NOT BE ALLOWED WITHIN A ROOT ZONE, UNLESS ADEQUATE TREE PRESERVATION METHODS ARE APPROVED BY THE CITY.
- NO TRENCHING SHALL BE ALLOWED WITHIN THE DRIP-LINE OF A TREE, UNLESS APPROVED BY THE CITY.
- ALL REMOVED TREES SHALL BE CHIPPED AND USED FOR MULCH ON SITE OR HAULED OFF-SITE.
- ALL TREE MAINTENANCE TECHNIQUES SHALL BE IN CONFORMANCE WITH INDUSTRY IDENTIFIED STANDARDS. IMPROPER OR MALICIOUS PRUNING TECHNIQUES ARE STRICTLY PROHIBITED.



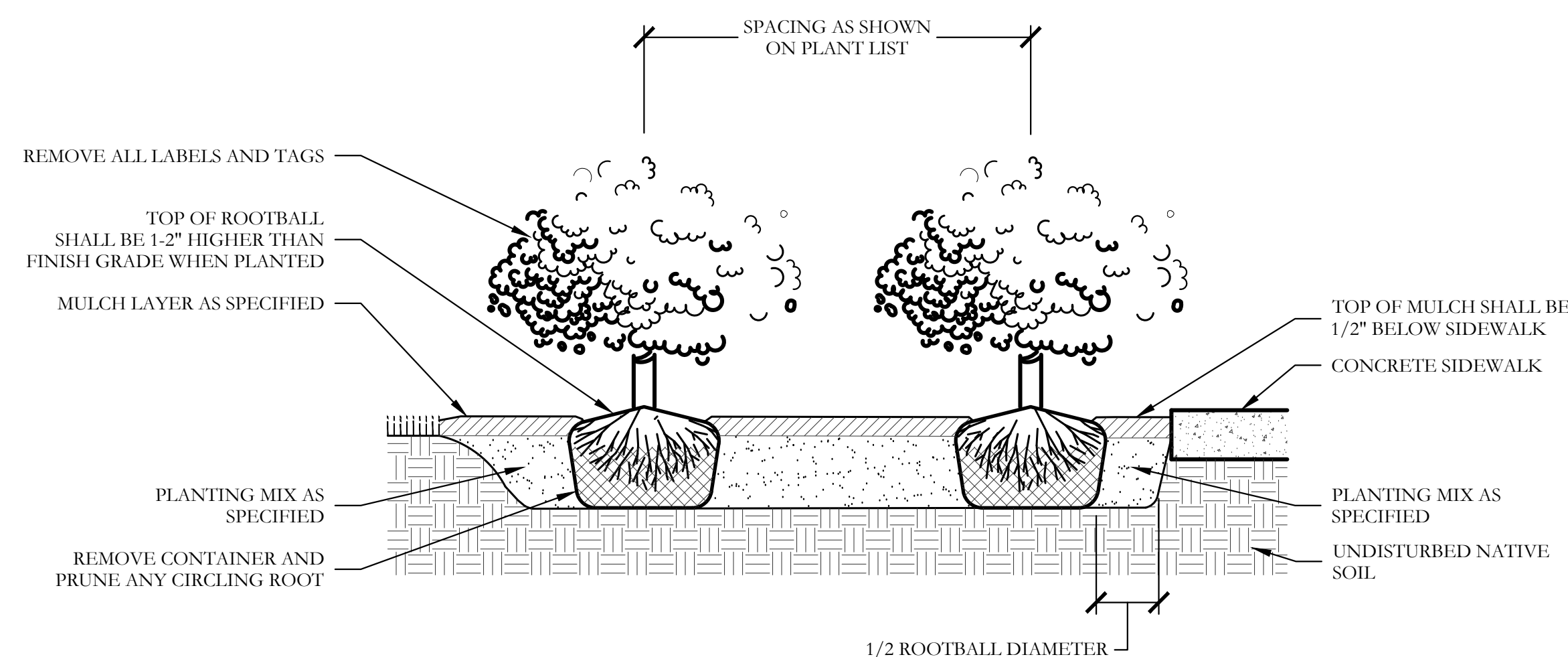
1 TYPICAL TREE PLANTING SECTION NOT TO SCALE



3 TYPICAL BED EDGING DETAIL SECTION NOT TO SCALE



2 TYPICAL SHRUB AND GROUND COVER PLANTING PLAN/SECTION NOT TO SCALE



4 TYPICAL SHRUB AND GROUND COVER PLANTING SECTION NOT TO SCALE

ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OR ACCURACY OF DESIGN.

APPROVED:

I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the \_\_\_ day of \_\_\_, 20\_\_.

WITNESS OUR HANDS, this \_\_\_ day of \_\_\_, 20\_\_.

\_\_\_\_\_  
Planning & Zoning Commission, Chairman

\_\_\_\_\_  
Director of Planning and Zoning



# JOHNSON VOLK CONSULTING

704 Central Parkway East | Suite 1200 | Plano, Texas 75074 | 972.201.3100

Planning and Zoning Department  
City of Rockwall – Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

August 16, 2024

## **Tree Survey Affidavit**

Peachtree Meadows, Amenity Center  
City of Rockwall, Rockwall County, Texas

To Whom it May Concern,

After an extensive field investigation and tree inventory, we have determined that no protected trees exist on site for this development. Because of this, we have not prepared tree survey plans, checklists, and applicable plans for tree survey, mitigation, and/or tree preservation per the City of Rockwall Ordinance.

If you have any questions or concerns, please let me know.

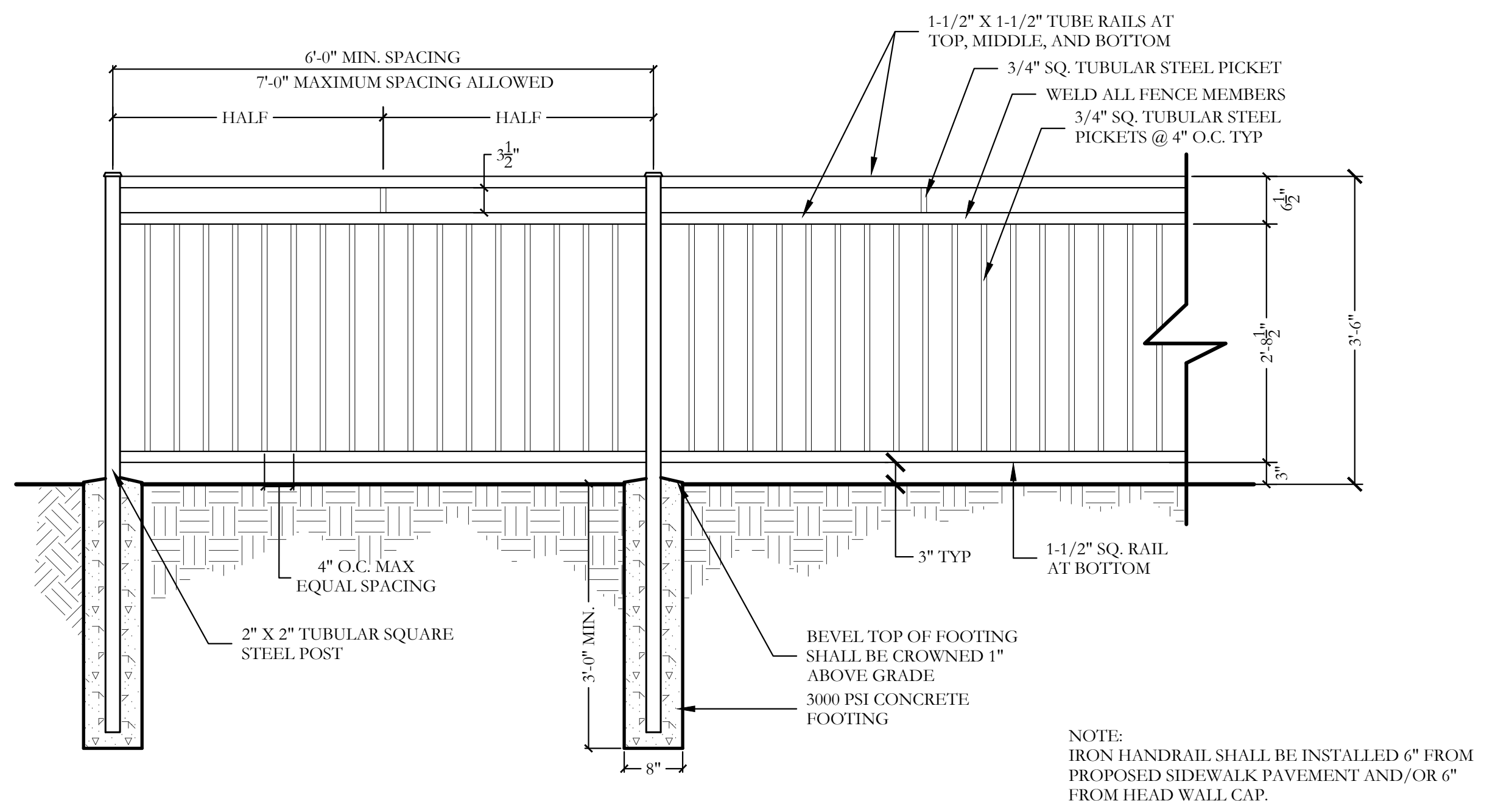
Sincerely,

Cody Johnson, RLA, ASLA, LI  
**Johnson Volk Consulting**  
704 Central Parkway East  
Suite 1200  
Plano, Texas 75074

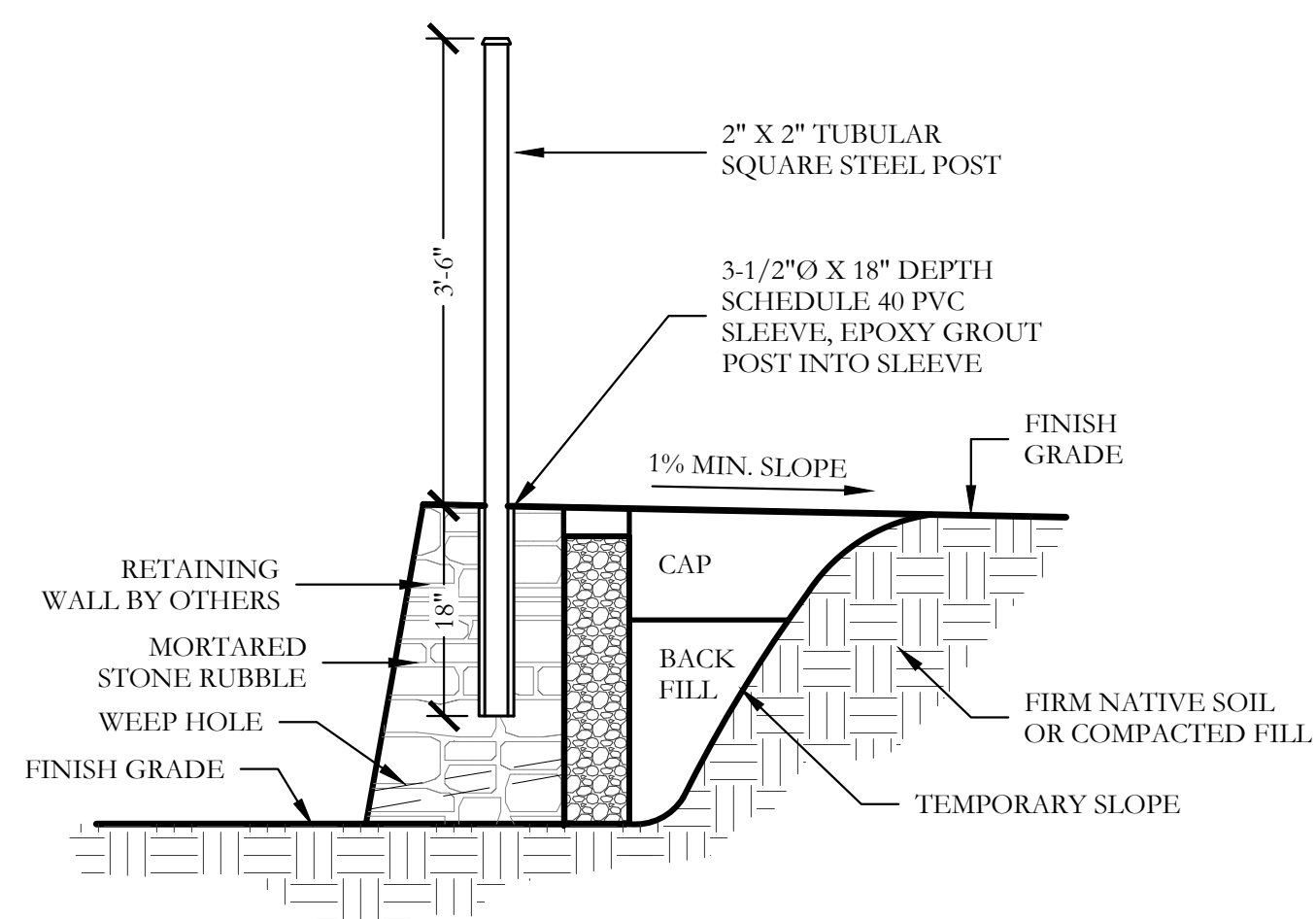


**ORNAMENTAL METAL FENCE NOTES**

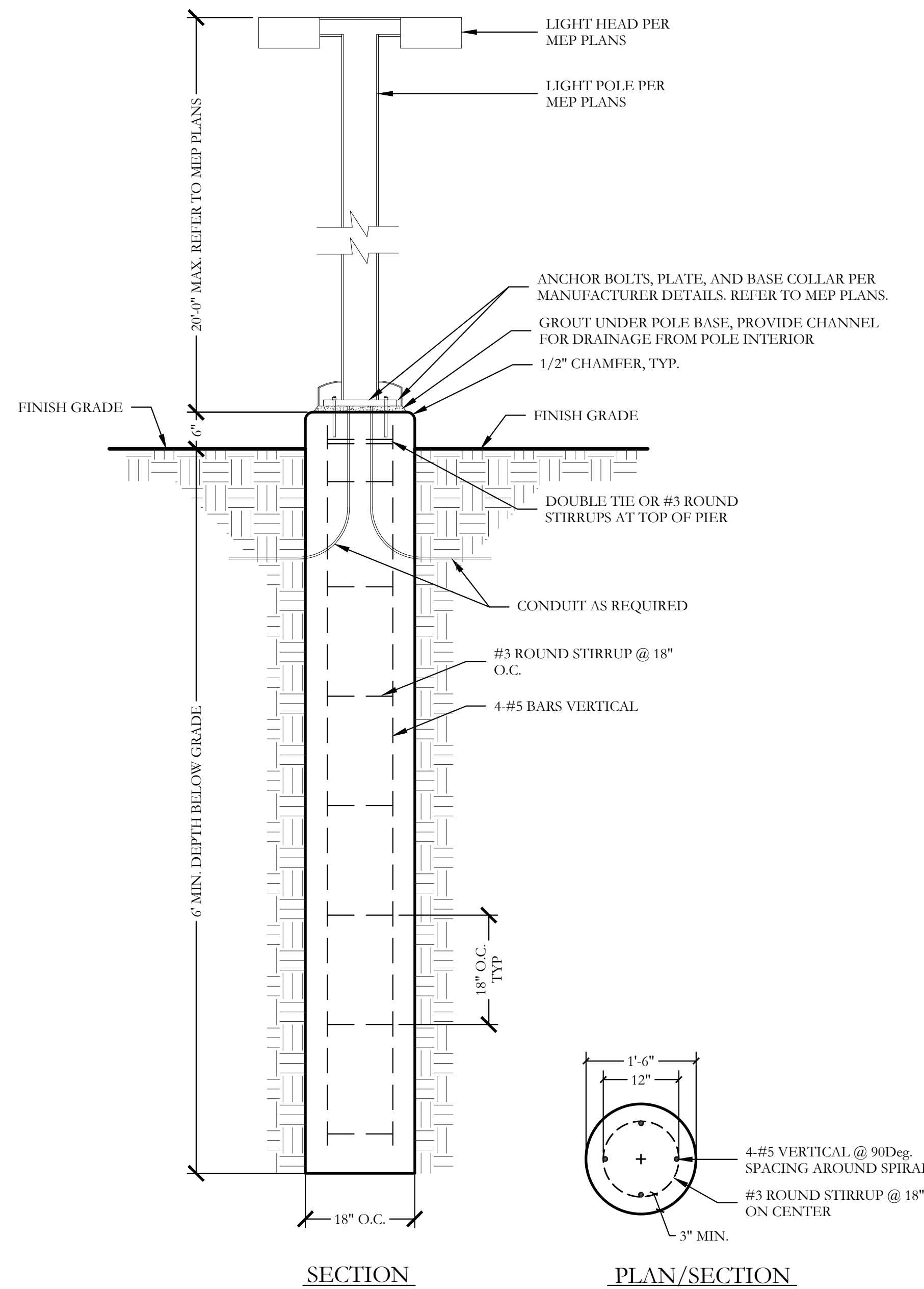
1. THE CONTRACTOR IS RESPONSIBLE FOR MAKING HIMSELF FAMILIAR WITH ALL UNDERGROUND UTILITIES, PIPES, AND STRUCTURES EITHER SHOWN OR NOT SHOWN ON THE PLANS. THE CONTRACTOR WILL BE RESPONSIBLE FOR ANY COST INCURRED DUE TO DAMAGE OR REPLACEMENT OF SAID UTILITIES AND STRUCTURES CAUSED BY HIS FORCES.
2. ALL CONCRETE USED IN FOOTING AND PIERS SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI @ 28 DAYS.
3. THE CONTRACTOR IS RESPONSIBLE FOR ALL REQUIRED PERMITS AND CITY INSPECTIONS.
4. ALL ORNAMENTAL METAL TUBES, POSTS, RAILS AND PICKETS SHALL BE FLUSH AND FREE OF ALL DENTS, SPURS, AND SHARP EDGES AND SHALL BE INSTALLED LEVEL, PLUMB, AND SQUARE.
5. PROVIDE CONTINUOUS WELDS ALONG ALL EDGES OF FENCE MEMBERS.
6. GRIND SMOOTH ALL WELDS.
7. ALL METAL SURFACES SHALL BE PRIMED AND PAINTED WITH TWO COATS OF RUSTPROOF PAINT, COLOR TO BE FLAT BLACK. CONTRACTOR TO SUBMIT SAMPLES AS REQUIRED.
8. CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL DIMENSIONS BEFORE MANUFACTURING GATES AND FENCE. GATE LOCKING MECHANISM SHALL BE SELECTED BY OWNER.
9. ALL ORNAMENTAL METAL FENCE MEMBERS ARE TO BE TUBULAR MEMBERS IN ACCORDANCE WITH ASTM 515 HOT ROLLED STRUCTURAL STEEL 50,000 PSI TENSILE STRENGTH, 60,000 PSI YIELD STRENGTH.
10. FENCE MEMBER SIZES TO BE AS FOLLOWS:
  - 10.1. PICKETS, 3/4" SQUARE 16 GA.
  - 10.2. RAILS, 1-1/2" X 1-1/2" TUBE 16 GA.
  - 10.3. POSTS, 2" SQUARE 11 GA.
  - 10.4. POSTS, 3" SQUARE 11 GA.
11. CONCRETE FOOTING FOR POSTS SHALL BE 3X POST WIDTH.
12. POSTS SHALL BE PLACED AT A MINIMUM DISTANCE OF 6'-0" O.C AND A MAXIMUM DISTANCE OF 8'-0" O.C.
13. FENCE SHALL MEET LOCAL CODES AND REQUIREMENTS. CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING COMPLIANCE INCLUDING NECESSARY UPSIZING OF POSTS, PICKETS AND HORIZONTAL BARS AND INCREASING THE HEIGHT OF THE FENCE AS IT APPEARS IN THIS DETAIL AT NO ADDITIONAL COST TO THE OWNER FOR MATERIALS AND/OR LABOR.



**1** 42" HT. ORNAMENTAL METAL HANDRAIL ELEVATION SCALE: 3/4"=1'-0"



**2** 42" HT. ORNAMENTAL METAL HANDRAIL ON TOP RETAINING WALL SECTION SCALE: 3/4"=1'-0"



**3** LIGHT POLE WITHIN POOL AREA PLAN/SECTION SCALE: 3/4"=1'-0"

**APPROVED:**  
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the \_\_\_ day of \_\_\_, \_\_\_.

WITNESS OUR HANDS, this \_\_\_ day of \_\_\_, \_\_\_.

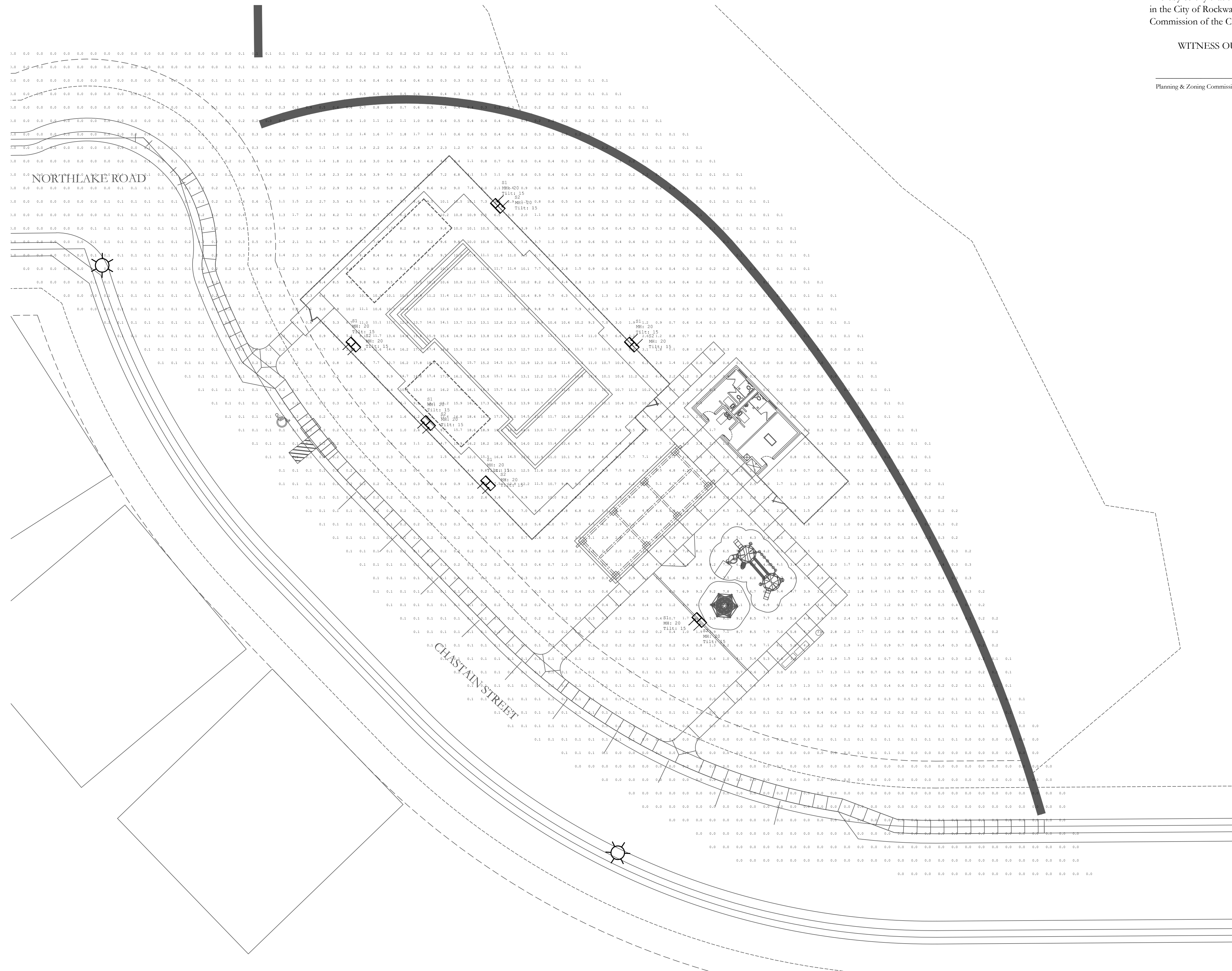
\_\_\_\_\_  
Planning & Zoning Commission, Chairman

\_\_\_\_\_  
Director of Planning and Zoning

PERMITTED BY BUILDING INSPECTORS.

ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OR ACCURACY OF DESIGN.

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**1 SITE PLAN - PHOTOMETRICS**  
SCALE: 1" = 20'-0"

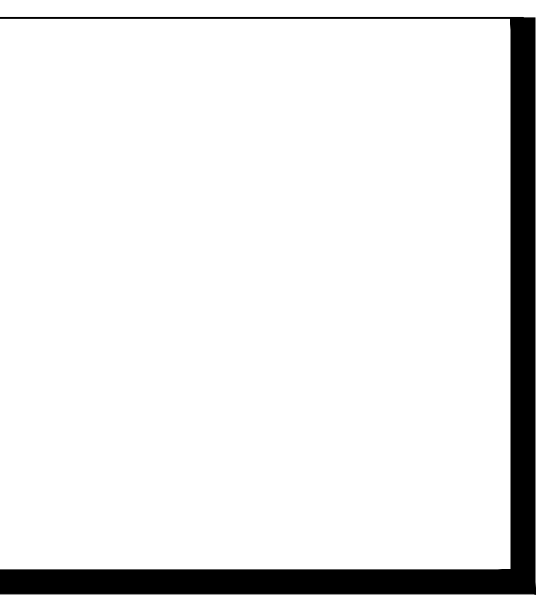
Luminaire Schedule										
Symbol	Qty	Label	Arrangement	Description	Tag	LLF	Luminaire Lumens	Luminaire Watts	Total Watts	Mounting Height
[Symbol]	6	S1	Single	MRS-LED-24L-SIL-FT-40-70CRI-IL	PAIRED W/ S2	0.900	15300	196	1176	20
[Symbol]	6	S2	Single	MRS-LED-24L-SIL-FT-40-70CRI-IL	PAIRED W/ S1	0.900	15300	196	1176	20

**APPROVED:**  
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WITNESS OUR HANDS, this \_\_\_\_ day of \_\_\_\_\_, \_\_\_\_.

\_\_\_\_\_  
Planning & Zoning Commission, Chairman

\_\_\_\_\_  
Director of Planning and Zoning



**PEACHTREE MEADOWS - AMENITY CENTER  
ROCKWALL, TEXAS**

Issue:	XX-XX-XXXX
Revisions:	

Drawing Title:  
**PHOTOMETRICS - SITE PLAN**

Sheet  
**E1.02**

CONTRACTOR SHALL COORDINATE MEP DRAWINGS WITH ALL OTHER DISCIPLINES

AOS JOB #: 4444-001-24

## Mirada Small Area Light (MRS)

Have questions? Call us at (800) 436-7800

Type: \_\_\_\_\_

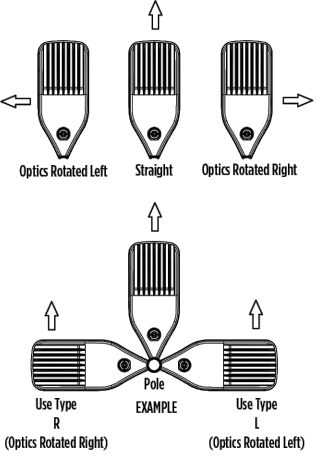
### ACCESSORIES

Back to Quick Links

MOUNTING ACCESSORIES		SHIELDING, POLES & MISC. ACCESSORIES	
<b>Universal Mounting Bracket</b> Mounts into 7" square or round (square/straight) poles with (2) mounting hole spaces between 1.5" to 5" <b>Part Number: SMA UWB CLR</b>		<b>Integral Louver</b> Field install Integral Louver provides maximum backlight control by shielding each individual row of LEDs <b>Part Number: MS445</b>	
<b>Half Mount Pole</b> Use one person installation to existing/new construction poles with hole spaces between 2.4 to 4.1" <b>Part Number: MS PDM B3B XX CLR</b>		<b>Integral Half Louver</b> Field install Integral Half Louver provides great backlight control without impacting front side distribution. <b>Part Number: MS446</b>	
<b>3" Pin Stack Mount Pole</b> Use one person installation to existing/new construction poles with hole spaces between 2.4 to 4.1" <b>Part Number: MS PDS B3B XX CLR</b>		<b>External Shield</b> External shield blocks view of light source from any side of luminaire, additional shielding configurations available <b>Part Number: MS640BLK (P) / MS630BLK (S)*</b>	
<b>Adjustable Spherule</b> Mounts into 2" (Clear) (P, 2.35") (50mm) O.D. beam and provides 180° of tilt (max 45° above horizontal) <b>Part Number: SMA AS1 CLR</b>		<b>Spacer Pole</b> 1/2" (38mm) steel and aluminum poles in 4", 5", and 6" sizes for retrofit and new construction <b>Part Number: 620/520/620</b>	
<b>Spacer Beam Top</b> Mounts into 2" (Clear) (P, 2.35") (50mm) O.D. beam and allows for mounting up to 4 luminaires <b>Part Number: SMA STM*</b>		<b>Recess Pole</b> 1/2" (38mm) steel and aluminum poles in 4" and 5" sizes for retrofit and new construction <b>Part Number: 489/589</b>	
<b>Square Internal Shelfliner</b> Mounts inside 4" to 5" square pole and allows for mounting up to 4 luminaires <b>Part Number: SMA I_SLF* CLR</b>		<b>Tapered Pole</b> 2 1/2" (63mm) steel and aluminum poles for retrofit and new construction <b>Part Number: 81P</b>	
<b>Wall Mount Bracket</b> Mounts onto vertical wall surface (hardware/anchors not included) <b>Part Number: MS 3300 WM CLR</b>		<b>Test Spikes</b> 1/2" (12mm) steel and aluminum poles for retrofit and new construction <b>Part Number: 780/95</b>	
<b>Wood Pole Bracket</b> Mounts onto wooden poles (3" minimum O.D., hardware/anchors not included) <b>Part Number: MS 3300 WP CLR</b>			

### OPTICS ROTATION

Top View



### ACCESSORIES/OPTIONS

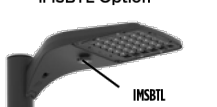
#### Integral Louver (IL) and House-Side Shield (HS)

Integral Louver (IL) and Half Louver (HL) accessory shields available for improved backlight control without sacrificing street side performance. LSI's Integral Louver (IL) and Integral House-Side Shield (HS) options deliver backlight control that significantly reduces spill light behind the poles for applications with pole locations close to adjacent properties. The design maximizes forward reflected light while reducing glare, maintaining the optical distribution selected, and most importantly eliminating light trespass. Both options rotate with the optical distribution.

Luminaire Shown with Integral Louver (IL)



Luminaire Shown with IMSBTL Option



#### 7 Pin Photoelectric Control

7-pin ANSI C136.41-2013 control receptacle option available for twist lock photocontrols or wireless control modules. Control accessories sold separately. Dimming leads from the receptacle will be connected to the driver dimming leads (Consult factory for alternate wiring).

## Mirada Small Area Light (MRS)

Have questions? Call us at (800) 436-7800

Type: \_\_\_\_\_

### ORDERING GUIDE

Back to Quick Links

TYPICAL ORDER EXAMPLE: MRS LED 4L SIL FT 1 UNV DIM AMT ALBBSX BLK IH							
Prefix	Light Source	Lumen Package	Lens	Distribution	Orientation <sup>2</sup>	Voltage	Driver
MRS - Mirada Small Area Light	LED	ZL - 2,000 lms 4L - 4,000 lms Custom Lumen Packages <sup>1</sup>	SIL - Silicone	2 - Type 2 S - Type S SW - Type S Wide FT - Forward Throw	(Blank) - Standard L - Optics rotated left 90° R - Optics rotated right 90°	UNV - Universal Voltage (120-277V) HW - High Voltage (347-480V)	DM - 0-10V Dimming (0-10V)

Color Temp	Controls (Choose One)	Finish	Options
AMT - Narrow Band Amber	(Blank) - None <b>Wireless Controls System</b> ALSC - AirLink Symapex Control System ALSCSX - AirLink Symapex Control System with 12-32' Mt Motion Sensor ALSCSX4 - AirLink Symapex Control System with 20-40' Mt Motion Sensor ALBSX - AirLink Blue Wireless Motion & Photo Sensor Controller (8-24' Mt) ALBSX4 - AirLink Blue Wireless Motion & Photo Sensor Controller (20-40' Mt) <b>Stand-Alone Controls</b> EXT - 0-10V Dimming leads extended to housing exterior CR7P - 7 Pin Control Receptacle (ANSI C136.41) MSBTL - Integral Bluetooth™ Motion and Photocell Sensor (8-24' Mt) MSBTL2 - Integral Bluetooth™ Motion and Photocell Sensor (20-40' Mt)	BLK - Black BRZ - Dark Bronze GMG - Gun Metal Gray GFP - Graphite MSV - Metallic Silver PLP - Platinum Plus SWG - Satin Verde Green WHT - White	(Blank) - None IH - Integral Half Louver (Moderate Spill Light Control) IL - Integral Louver (Sharp Spill Light Control)

Need more information?  
Click here for our glossary

Have additional questions?  
Call us at (800) 436-7800

Accessory Ordering Information <sup>3</sup>		SHIELDING OPTIONS	
CONTROLS ACCESSORIES	Order Number	Description	Order Number
Twist Lock PhotoCell (220V) for use with CR7P	12254	Mirada Small	See Shielding Guide
Twist Lock PhotoCell (208-277V) for use with CR7P	12255	Mirada Medium	
Twist Lock PhotoCell (347V) for use with CR7P	12256	Mirada Large	
Twist Lock PhotoCell (480V) for use with CR7P	12258	Zone Medium	
AirLink 5 Pin Twist Lock Controller	66149	Zone Large	
AirLink 7 Pin Twist Lock Controller	66140	Size Medium	
Shorting Cap for use with CR7P	14938		

## Mirada Small Area Light (MRS)

Have questions? Call us at (800) 436-7800

Type: \_\_\_\_\_

### CONTROLS

Back to Quick Links

#### Integral Bluetooth™ Motion and Photocell Sensor (IMSBTL)

Slim low profile sensor provides multi-level control based on motion and/or daylight. Sensor controls 0-10 VDC LED drivers and is IP66 rated for cold and wet locations (-40°F to 167°F). Two unique PIR lenses are available and used based on fixture mounting height. All control parameters are adjustable via an iOS or Android App capable of storing and transmitting sensor profiles.

Click here to learn more details about IMSBT.



#### AirLink Blue (ALBBSX)

Wireless Bluetooth Mesh Outdoor Lighting Control System that provides energy savings, code compliance and enhanced safety/security for parking lots and parking garages. Three key components: Bluetooth wireless radio/sensor controller, Time Keeper and an iOS App. Capable of grouping multiple fixtures and sensors as well as scheduling time-based events by zone. Radio/Sensor Controller is factory integrated into Area/Site, Wall Mounted, Parking Garage and Canopy luminaires.

Click here to learn more details about AirLink Blue



#### Sensor Sequence of Operations

Standard Programming	On Event	Off Event	On Light Level	Dim Light Level	Daylight Harvesting	Delay To Off	Sensitivity
OMSBTL/MSBTL	Motion	No Motion	100%	N/A	On; Auto Calibration	20 minutes	High
ONS	Motion	No Motion	N/A	N/A	N/A	30 seconds	Auto

Operation	Description
<b>On Event</b>	Trigger that activates lights to turn on; either automatic via motion detected or manually activated via push of button.
<b>Off Event</b>	Trigger that activates lights to turn off; either automatic via no motion detected or manually activated via push of button.
<b>On Light Level</b>	The light level that the fixtures will turn on to when ON EVENT occurs.
<b>Dim Light Level</b>	The light level that the fixtures will dim down to when no motion is detected.
<b>Delay to Dim</b>	The amount of time after which no motion is detected that the fixtures will be triggered to dim down. This sequence is optional, and sensor can be programmed to only trigger the fixture to turn off by entering 100% in this field.
<b>Delay to Off</b>	The amount of time after which no motion is detected that the fixtures will be triggered to turn off. If delay to dim is part of the programmed functionality, this is the amount of time after which no motion is detected after the fixture has already dimmed down.
<b>Sensitivity</b>	The sensitivity can be set to high, medium, low, or auto where applicable. High will detect smaller, simple motions. Low will only detect larger more complex motions. Auto temperature calibration adjusts the PIR sensitivity as ambient temperature rises to increase detection of heat movement through the field of view.



Catalog #: \_\_\_\_\_ Project: \_\_\_\_\_  
 Prepared By: \_\_\_\_\_ Date: \_\_\_\_\_

## Mirada Small Area (MRS)

### Turtle friendly LED Area Light



OVERVIEW	
Lumen Package	2,000 - 4,000
Wattage Range	36 - 93
Efficacy Range (LPW)	39 - 73
Fixture Weight lbs (kg)	20 (9.1)

### QUICK LINKS

Ordering Guide	Performance	Photometrics	Dimensions
----------------	-------------	--------------	------------

### FEATURES & SPECIFICATIONS

- Construction**
  - Rugged die-cast aluminum housing contains factory wired driver and optical unit. Cast aluminum wiring access door located underneath.
  - Fixtures are finished with LSI's DuraGrip® polyester powder coat finishing process. The DuraGrip finish withstands extreme weather changes without cracking or peeling. Other standard LSI finishes available. Consult factory.
  - Shipping weight: 27 lbs in carton.
- Optical System**
  - State-of-the-Art one piece silicone optic sheet delivers industry leading optical control with an integrated gasket to provide IP66 rated seal.
  - Proprietary silicone refractor optics provide excellent coverage and uniformity in distribution types 2, 3, 5W, and FT.
  - Silicone optical material does not yellow or crack with age and provides a typical light transmittance of 93%.
  - Zero uplift.
  - Available in narrow band amber with peak intensity at 596nm.
  - Integral louver (IL) and integral half louver (IH) options available for enhanced backlight control.
  - External shielding available for blocking visibility from any side of the luminaire.

- Electrical**
  - High-performance driver features over-voltage, under-voltage, short-circuit and over temperature protection.
  - 0-10V dimming (10% - 100%) standard.
  - Standard Universal Voltage (120-277 VAC) Input 50/60 Hz or optional High Voltage (347-480 VAC).
  - Total harmonic distortion: <20%
  - Operating temperature: -40°C to +50°C (-40°F to +112°F).
  - Power factor: > 90
  - Input power stays constant over life.
  - Field replaceable 10kV surge protection device meets a minimum Category C Low operation (per ANSI/IEEE C62.41.2).
  - LEDs mounted to metal-core circuit board to maximize heat dissipation
  - Driver is fully encased in potting material for moisture resistance and complies with FCC standards. Driver and key electronic components can easily be accessed.
- Warranty**
  - LSI luminaires carry a 5-year limited warranty. Refer to https://www.lsicorp.com/resources/terms-conditions-warranty/ for more information.
- Listings**
  - Listed to UL 1598 and UL 8750.
  - Meets Buy American Act requirements.
  - IDA compliant.
  - Suitable for wet locations.
  - IP66 rated Luminaire per IEC 60598-1.
  - 3G rated for ANSI C136.31 high vibration applications are qualified.
  - IK08 rated luminaire per IEC 66262 mechanical impact code.

### Installation

- Designed to mount to square or round

## Mirada Small Area Light (MRS)

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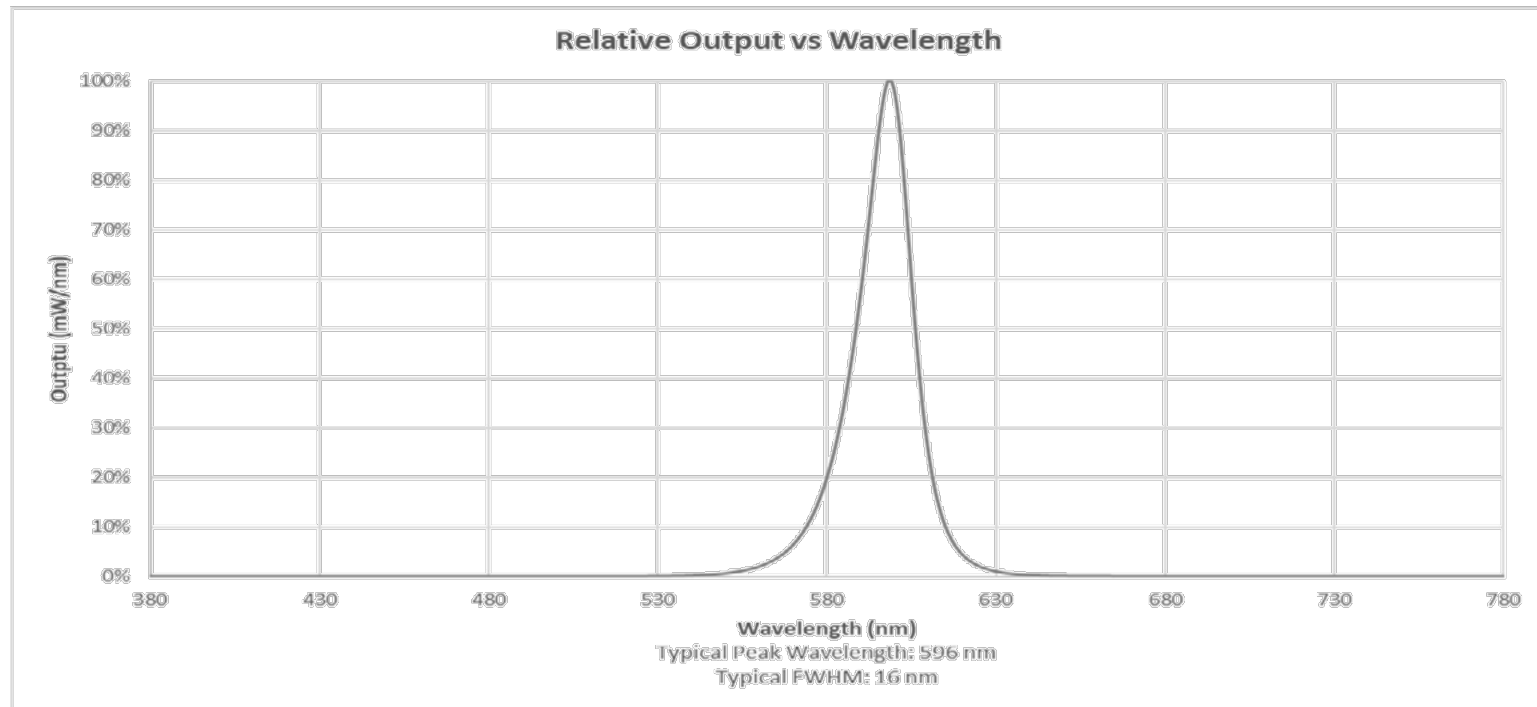
Type: \_\_\_\_\_

### PERFORMANCE

Back to Quick Links

DELIVERED LUMENS <sup>1</sup>					ELECTRICAL DATA (AMPS) <sup>2</sup>								
Lumen Package	Distribution	Narrow Band Amber			Wattage	Lumens	Wattage	120V	208V	240V	277V	347V	480V
		Delivered Lumens	Efficacy	BIG Rating									
ZL	2	2557	72	81-U0-G1	36	36	0.30	0.17	0.15	0.13	0.10	0.07	
	3	2599	73	81-U0-G1									
	SW	2659	69	81-U0-G1									
	FT	2516	70	81-U0-G1									
4L	2	5761	40	81-U0-G1	93	93	0.78	0.45	0.39	0.34	0.27	0.19	
	3	5822	41	81-U0-G1									
	SW	5616	39	81-U0-G1									
	FT	5699	40	81-U0-G1									

<sup>1</sup>10% are frequently updated therefore values are rounded.



1. Lumen maintenance values at 20% are calculated per TM-21 based on TM-08 data and in-situ luminaire testing.  
 2. In accordance with IESNA TM-21-16, Projected Values represent interpolated values based on time duration that are within six times (6X) the E3NA TM-08 total test duration (in hours) for the device under testing (DUT) in the packaged (ED) state.  
 3. In accordance with IESNA TM-21-16, Calculated Values represent time durations that exceed six times (6X) TM-08 total test duration (in hours) for the device under testing (DUT) in the packaged (ED) state.

# PEACHTREE MEADOWS - AMENITY CENTER ROCKWALL, TEXAS



Texas Registered Engineering Firm F-50218  
 5020 Temponay Parkway - Plano, TX 75024  
 Dallas / Fort Worth 214.432.9030  
 Houston 832.532.2007

APPROVED:  
 I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the \_\_\_\_ day of \_\_\_\_\_,

WITNESS OUR HANDS, this \_\_\_\_ day of \_\_\_\_\_,

\_\_\_\_\_  
 Planning & Zoning Commission, Chairman

\_\_\_\_\_  
 Director of Planning and Zoning

Drawing Title:  
**ELECTRICAL - CUTSHEETS**

Issue: XX-XX-XXXX

Revisions:

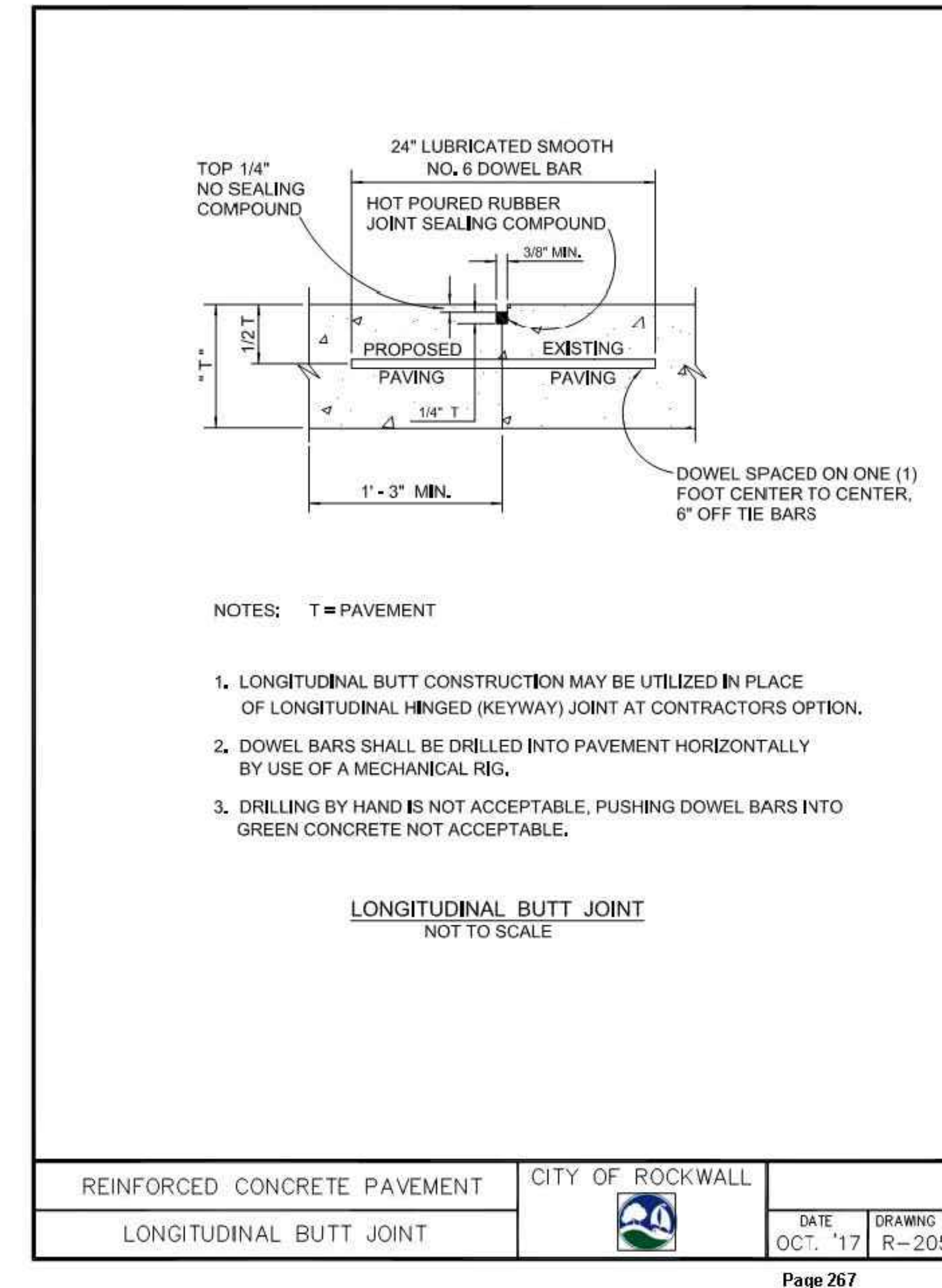
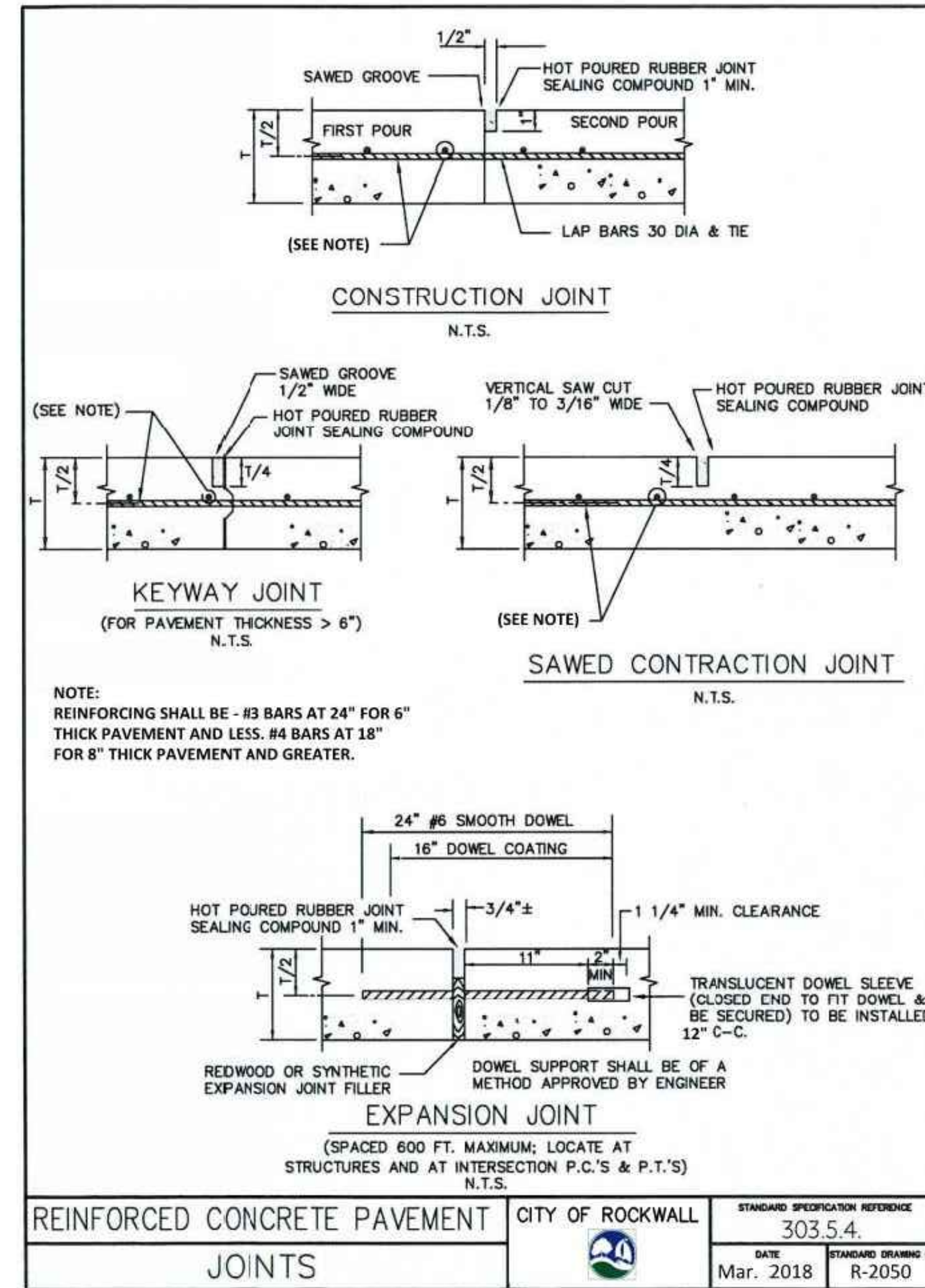
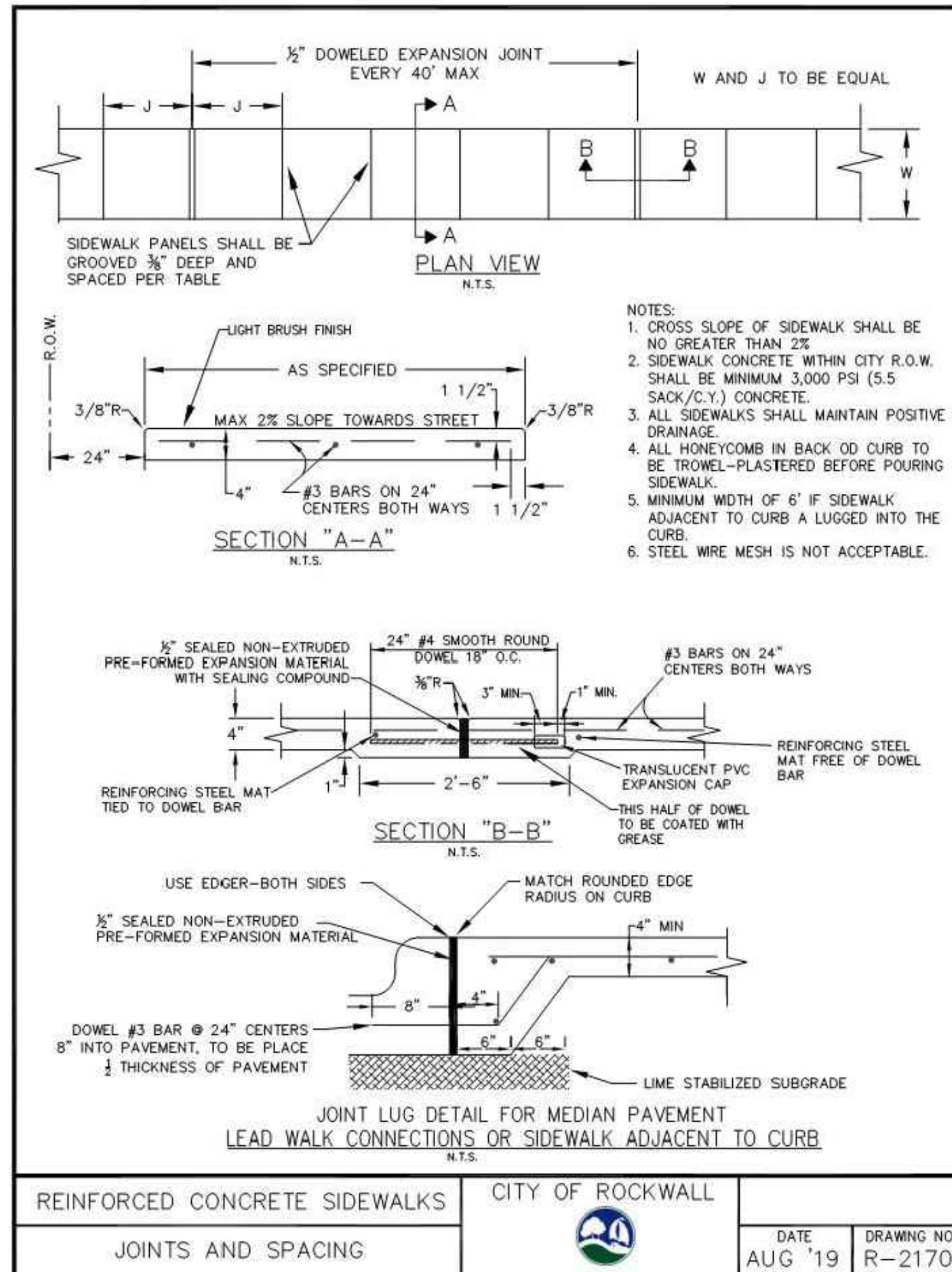
Sheet **E5.01**

AOS JOB #: 4444-001-24

CONTRACTOR SHALL COORDINATE MEP DRAWINGS WITH ALL OTHER DISCIPLINES





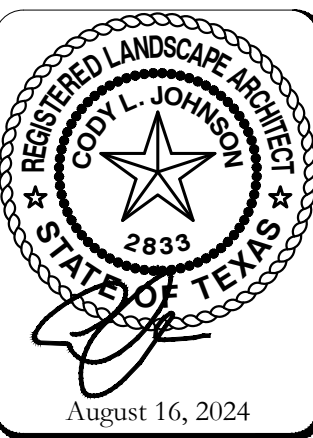


**APPROVED:**  
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the \_\_\_ day of \_\_\_, 201\_\_.

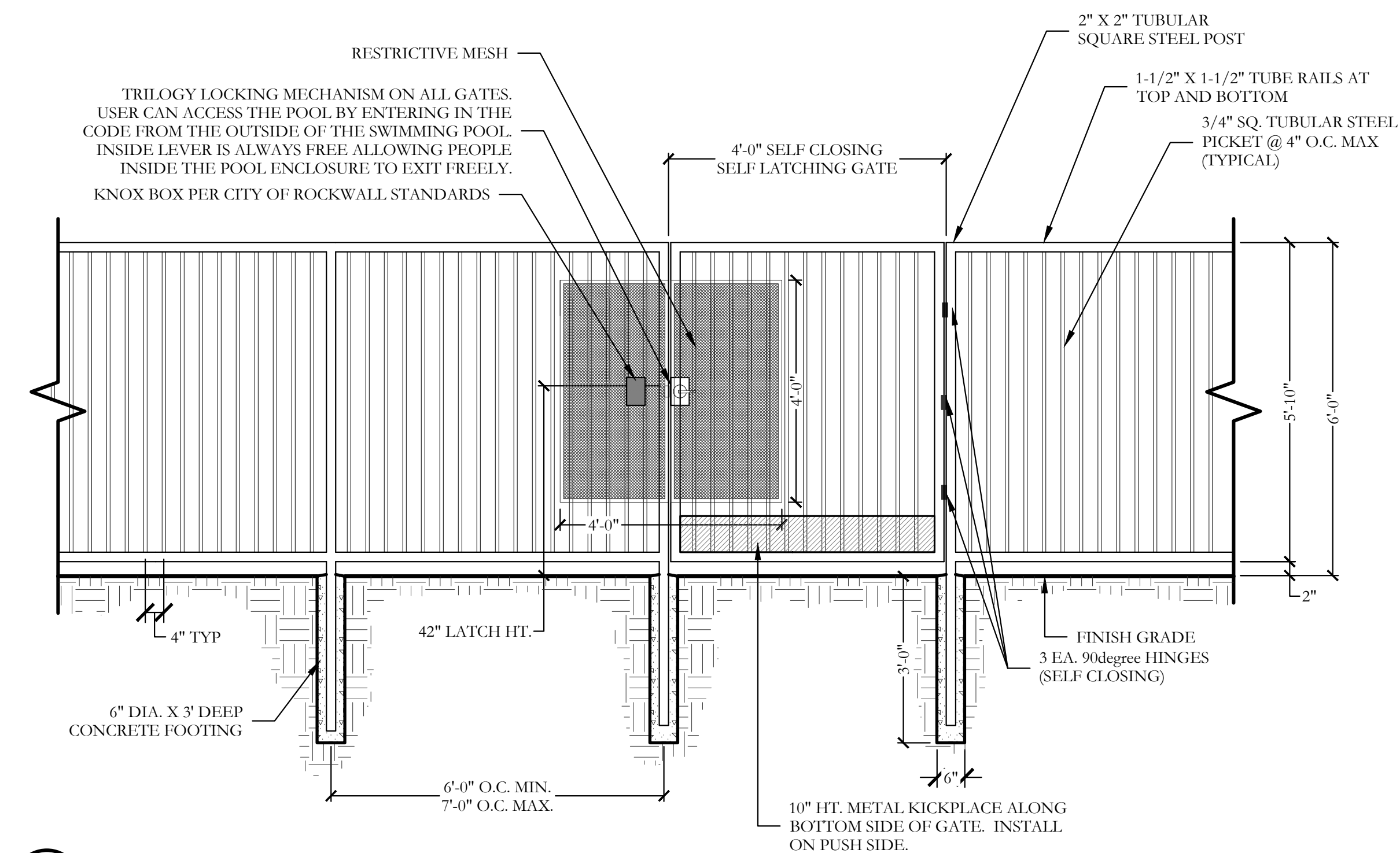
WITNESS OUR HANDS, this \_\_\_ day of \_\_\_, 201\_\_.

\_\_\_\_\_  
Planning & Zoning Commission, Chairman

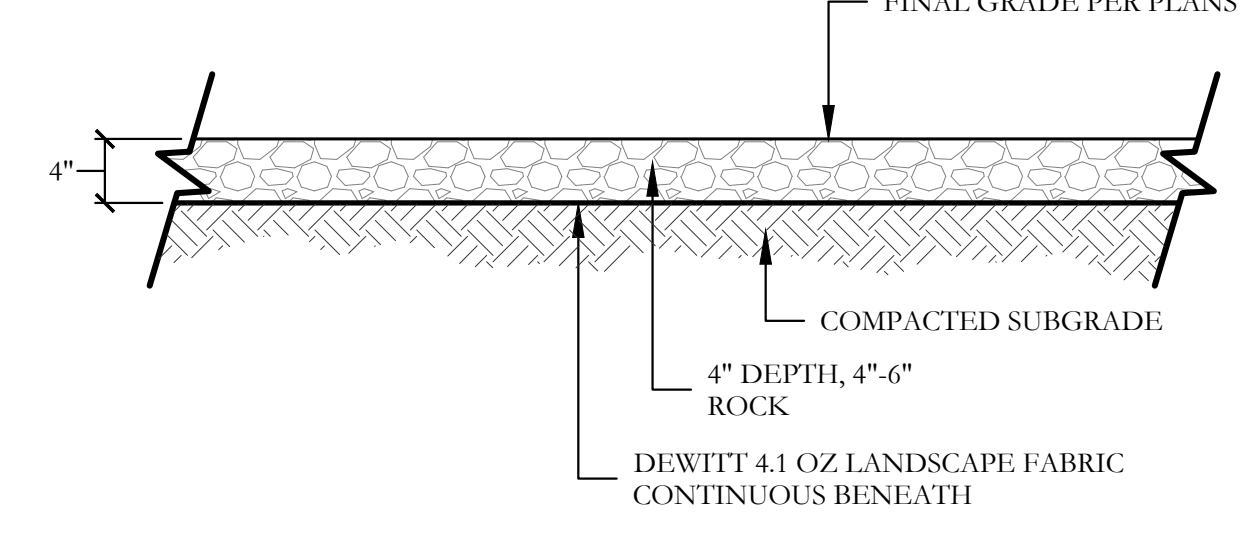
\_\_\_\_\_  
Director of Planning and Zoning



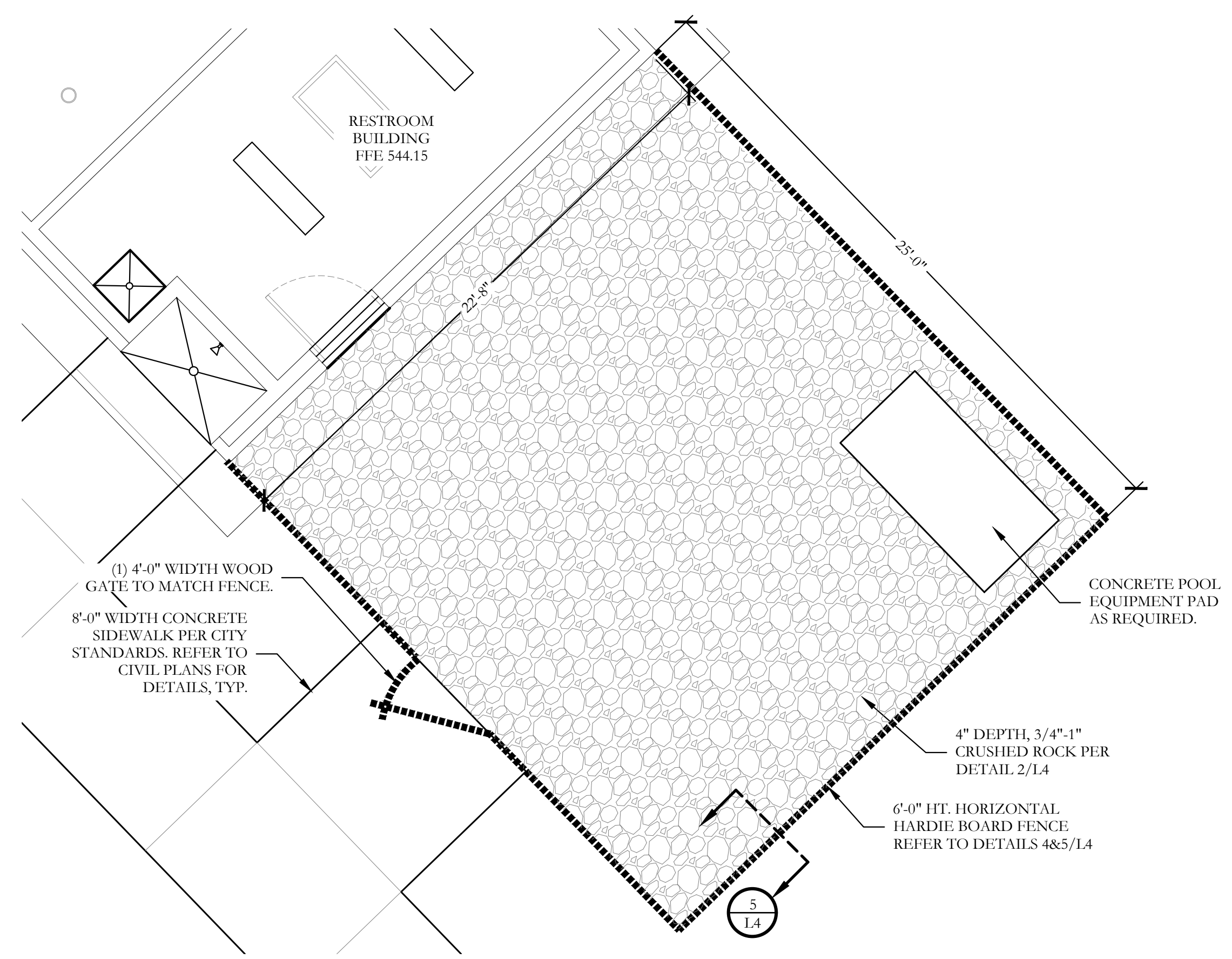
SCALE:  
REFER TO  
DETAILS  
One Inch  
JVC No. MJP008



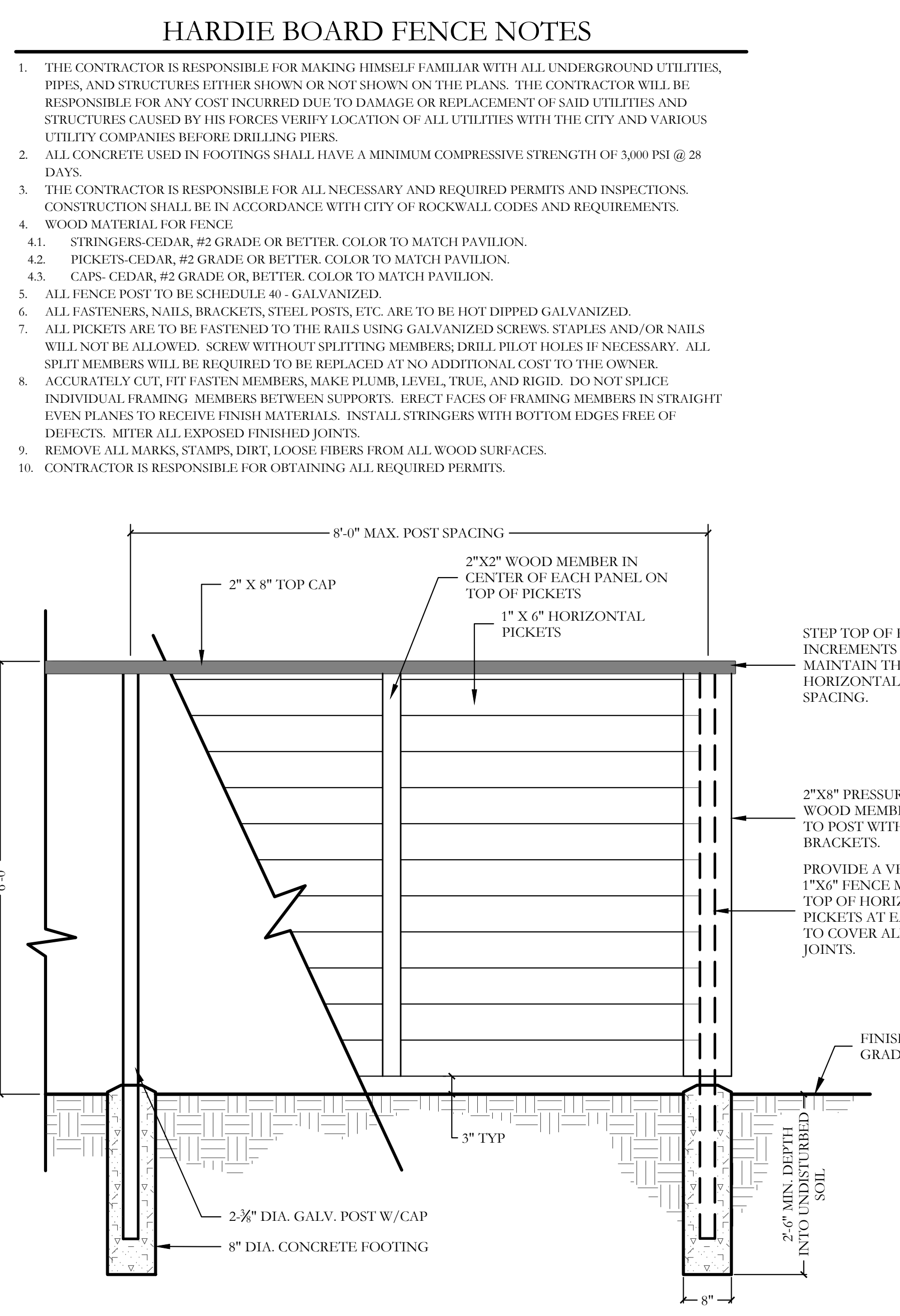
1 ORNAMENTAL METAL FENCE AND GATE ELEVATION SCALE: 1/2" = 1'-0"



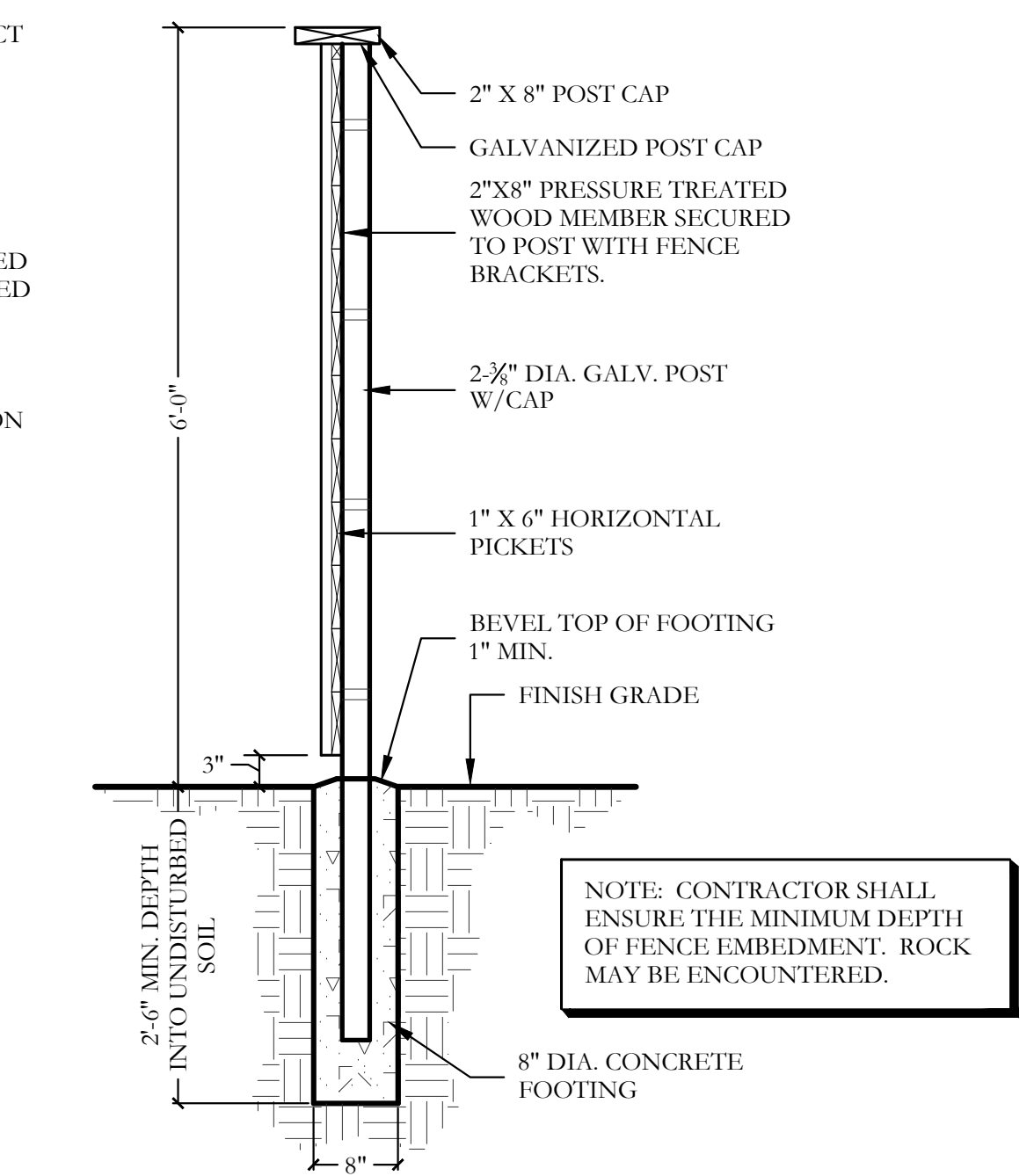
2 CRUSHED ROCK BASE SECTION SCALE: 1" = 1'-0"



3 POOL EQUIPMENT & TRASH TOTE ENCLOSURE PLAN SCALE: 1/4" = 1'-0"



4 PARTIAL 6'-0" HT. HARDIE BOARD FENCE ELEVATION SCALE: 3/4" = 1'-0"



5 6'-0" HT. HARDIE BOARD FENCE SECTION SCALE: 3/4" = 1'-0"

HARDIE BOARD FENCE NOTES

1. THE CONTRACTOR IS RESPONSIBLE FOR MAKING HIMSELF FAMILIAR WITH ALL UNDERGROUND UTILITIES, PIPES, AND STRUCTURES EITHER SHOWN OR NOT SHOWN ON THE PLANS. THE CONTRACTOR WILL BE RESPONSIBLE FOR ANY COST INCURRED DUE TO DAMAGE OR REPLACEMENT OF SAID UTILITIES AND STRUCTURES CAUSED BY HIS FORCES VERIFY LOCATION OF ALL UTILITIES WITH THE CITY AND VARIOUS UTILITY COMPANIES BEFORE DRILLING PIERS.
2. ALL CONCRETE USED IN FOOTINGS SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3,000 PSI @ 28 DAYS.
3. THE CONTRACTOR IS RESPONSIBLE FOR ALL NECESSARY AND REQUIRED PERMITS AND INSPECTIONS. CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF ROCKWALL CODES AND REQUIREMENTS.
4. WOOD MATERIAL FOR FENCE
  - 4.1. STRINGERS- CEDAR, #2 GRADE OR BETTER. COLOR TO MATCH PAVILION.
  - 4.2. PICKETS- CEDAR, #2 GRADE OR BETTER. COLOR TO MATCH PAVILION.
  - 4.3. CAPS- CEDAR, #2 GRADE OR, BETTER. COLOR TO MATCH PAVILION.
5. ALL FENCE POST TO BE SCHEDULE 40 - GALVANIZED.
6. ALL FASTENERS, NAILS, BRACKETS, STEEL POSTS, ETC. ARE TO BE HOT DIPPED GALVANIZED.
7. ALL PICKETS ARE TO BE FASTENED TO THE RAILS USING GALVANIZED SCREWS, STAPLES AND/OR NAILS WILL NOT BE ALLOWED. SCREW WITHOUT SPLITTING MEMBERS, DRILL PILOT HOLES IF NECESSARY. ALL SPLIT MEMBERS WILL BE REQUIRED TO BE REPLACED AT NO ADDITIONAL COST TO THE OWNER.
8. ACCURATELY CUT, FIT FASTEN MEMBERS, MAKE PLUMB, LEVEL, TRUE, AND RIGID. DO NOT SPLICE INDIVIDUAL FRAMING MEMBERS BETWEEN SUPPORTS. ERECT FACES OF FRAMING MEMBERS IN STRAIGHT EVEN PLANES TO RECEIVE FINISH MATERIALS. INSTALL STRINGERS WITH BOTTOM EDGES FREE OF DEFECTS. MITER ALL EXPOSED FINISHED JOINTS.
9. REMOVE ALL MARKS, STAMPS, DIRT, LOOSE FIBERS FROM ALL WOOD SURFACES.
10. CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS.

ORNAMENTAL METAL FENCE NOTES

1. THE CONTRACTOR IS RESPONSIBLE FOR MAKING HIMSELF FAMILIAR WITH ALL UNDERGROUND UTILITIES, PIPES, AND STRUCTURES EITHER SHOWN OR NOT SHOWN ON THE PLANS. THE CONTRACTOR WILL BE RESPONSIBLE FOR ANY COST INCURRED DUE TO DAMAGE OR REPLACEMENT OF SAID UTILITIES AND STRUCTURES CAUSED BY HIS FORCES.
2. ALL CONCRETE USED IN FOOTING AND PIERS SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI @ 28 DAYS.
3. THE CONTRACTOR IS RESPONSIBLE FOR ALL REQUIRED PERMITS AND CITY INSPECTIONS.
4. ALL ORNAMENTAL METAL TUBES, POSTS, RAILS AND PICKETS SHALL BE FLUSH AND FREE OF ALL DENTS, SPURS, AND SHARP EDGES AND SHALL BE INSTALLED LEVEL, PLUMB, AND SQUARE.
5. PROVIDE CONTINUOUS WELDS ALONG ALL EDGES OF FENCE MEMBERS. GRIND SMOOTH ALL WELDS.
6. ALL METAL SURFACES SHALL BE PRIMED AND PAINTED WITH TWO COATS OF URBANE BRONZE (SW7048) BY SHERWIN WILLIAMS PAINT CO., COLOR TO BE FLAT BLACK. CONTRACTOR TO SUBMIT SAMPLES AS REQUIRED.
7. CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL DIMENSIONS BEFORE MANUFACTURING GATES AND FENCE.
8. ALL ORNAMENTAL METAL FENCE MEMBERS ARE TO BE TUBULAR MEMBERS IN ACCORDANCE WITH ASTM 513
9. HOT ROLLED STRUCTURAL STEEL 50,000 PSI TENSILE STRENGTH, 60,000 PSI YIELD STRENGTH.
- 9.1. FENCE MEMBER SIZES TO BE AS FOLLOWS:
  - 9.1.1. PICKETS, 3/4" SQUARE 16 GA.
  - 9.1.2. RAILS, 1-1/2" X 1-1/2" SQUARE 16 GA.
  - 9.1.3. POSTS, 2" SQUARE 11 GA.
10. CONTRACTOR TO PROVIDE SHOP DRAWINGS FOR ALL FENCE GATES AND OPENERS. SHOP DRAWINGS SHALL INCLUDE ALL PRODUCT CUT SHEETS AS WELL AS INSTALLATION AND MANUFACTURING DETAILS. CONTRACTOR TO BE RESPONSIBLE FOR STRUCTURAL DESIGN OF GATES.
11. CONCRETE FOOTING FOR POSTS SHALL BE 3X POST WIDTH.
12. GATE IS TO BE SELF-CLOSING. FALCON B561DBD626 SATIN CHROME DANE SFC CLASSROOM LOCK BY A&H TURF OR APPROVED EQUAL. DEADLOCKING LATCH BOLT BY LEVERS. OUTSIDE LEVER IS LOCKED BY KEY IN OUTSIDE LEVER. INSIDE LEVER IS ALWAYS FREE.
13. POSTS SHALL BE PLACED AT A MINIMUM DISTANCE OF 6'-0" O.C AND A MAXIMUM DISTANCE OF 7'-0" O.C.
14. POOL FENCE SHALL MEET LOCAL CODES AND REQUIREMENTS. CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING COMPLIANCE INCLUDING NECESSARY UP-SIZING OF POSTS, PICKETS AND HORIZONTAL BARS AND INCREASING THE HEIGHT OF THE FENCE AS IT APPEARS IN THIS DETAIL AT NO ADDITIONAL COST TO THE OWNER FOR MATERIALS AND/OR LABOR.
15. LATCH SHALL BE SELF LATCHING, ON POOL SIDE OF ENCLOSURE AT A MIN. 42" ABOVE FINISH PAVING.
16. RESTRICTIVE MESH SHALL HAVE NO OPENINGS GREATER THAN 1/2" AND SHALL

**APPROVED:**  
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the \_\_\_ day of \_\_\_, \_\_\_\_.

WITNESS OUR HANDS, this \_\_\_ day of \_\_\_, \_\_\_\_.

\_\_\_\_\_  
Planning & Zoning Commission, Chairman

\_\_\_\_\_  
Director of Planning and Zoning

PERMITTED BY BUILDING INSPECTORS.

ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OR ACCURACY OF DESIGN.



# CITY OF ROCKWALL

## PLANNING AND ZONING COMMISSION CASE MEMO

### PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

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**TO:** Planning and Zoning Commission  
**DATE:** September 10, 2024  
**APPLICANT:** Bill S. Dahlstrom; *Jackson Walker, LLP*  
**CASE NUMBER:** Z2024-035; *Zoning Change (C to PD) for Rockwall Heights*

---

### SUMMARY

Hold a public hearing to discuss and consider a request by William S. Dahlstrom of Jackson Walker, LLP on behalf of James J. Melino of Rockwall 549/I-30 Partners, LP and Conveyor I30 Partners, LP for the approval of a Zoning Change from a Commercial (C) District to a Planned Development District for Commercial (C) District land uses on a 67.475-acre tract of land identified as Lot 1, Block B; Lot 1R, Block C; and Lot 1, Block D, Rockwall Commercial Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the IH-30 Overlay (IH-30 OV) District, generally located at the northwest corner of Stodghill Road and the IH-30 Frontage Road, and take any action necessary.

### BACKGROUND

The subject property was annexed by the City Council on December 3, 1985 by *Ordinance No. 85-69 [Case No. A1985-002]*. At the time of annexation, the subject property was zoned Agricultural (AG) District. According to the December 7, 1993 *Zoning Map*, a portion of the subject property was zoned Highway Commercial (HC) District at some point between annexation and December 6, 1993. This designation was later changed to a Light Industrial (LI) District between December 8, 1993 and April 5, 2005 according to the City's *Historic Zoning Maps*. On January 6, 2020, the City Council approved *Case No. P2019-048 (filed on April 9, 2021)* establishing the subject property as Lot 1, Block B; Lot 1R, Block C; and Lot 1, Block D, Rockwall Commercial Addition. On October 2, 2023, the City Council adopted *Ordinance No. 23-56 [Case No. Z2023-041]* changing the zoning of the subject property from an Agricultural (AG) District and Light Industrial (LI) District to a Commercial (C) District. The subject property has remained vacant since annexation.

### PURPOSE

On August 16, 2024, the applicant -- *Bill Dahlstrom of Jackson Walker, LLP* -- submitted a development application requesting to change the zoning of the subject property from a Commercial (C) District to a Planned Development District for Commercial (C) District land uses. Specifically, the applicant is requesting the approval of a *Concept Plan* that shows the subject property being zoned to allow: [1] a *Large Format Retailer*, [2] an *Urban Residential style Condominium Building*, [3] a *Low-Rise Residential Community*, and [4] a *Regional Shopping Center*.

### ADJACENT LAND USES AND ACCESS

The subject property is generally located at the northwest corner of Stodghill Road (*i.e. FM-3549*) and the IH-30 Westbound Frontage Road. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property is Justin Road, which is identified as a A4D (*i.e. major arterial, four [4] lane, divided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is a 36.56-acre parcel of land (*i.e. Lot 1, Block A, Rockwall Commercial Addition*) zoned Agricultural (AG) District. North of this parcel is a 120-foot railroad right-of-way, which is owned by the *M. K. & T. Railroad*. Beyond this are 11 tracts of land (*i.e. Tracts 1, 11, 13, 15, 22, 24, 25, 25-01, 25-2, 30, & 31 of the E. M. Elliott Survey, Abstract No. 77*) that are zoned Agricultural (AG) District and Single-Family Estate 1.5 (SFE-1.5) District. Eight (8) of these properties have existing single-family homes situated on them. Beyond this is Airport



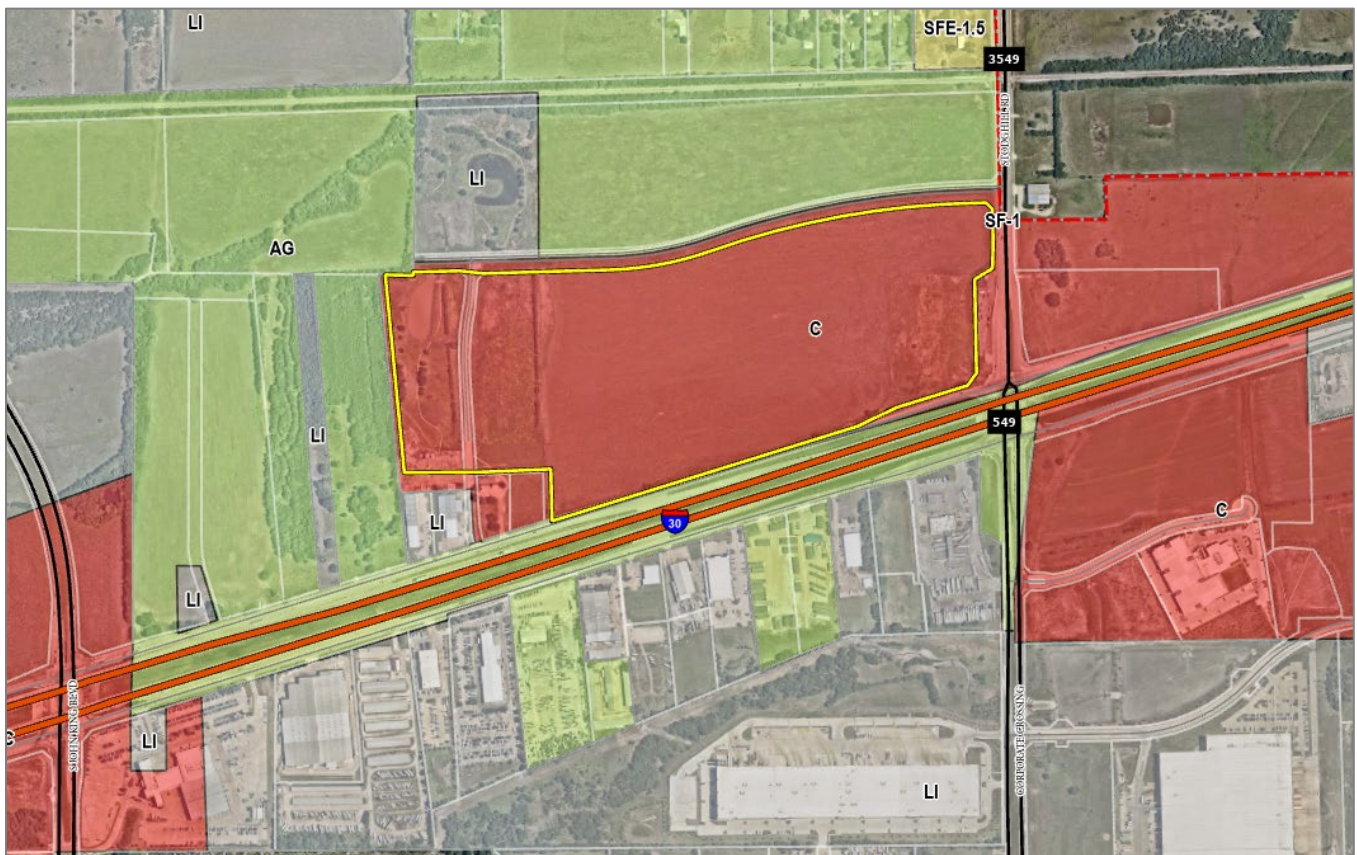
Road, which is designated as a M4U (*i.e. major collector, four [4] Lane, undivided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

**South:** Directly south of the subject property are two (2) tracts of land (*i.e. a portion of Lot 1, Block C, Rockwall Commercial Park Addition and Tract 5-1 of the J. Lockhart Survey, Abstract No. 134*) that are zoned Light Industrial (LI) District. Both of these properties have existing industrial buildings situated on them. Beyond this is the westbound lanes of the IH-30 Frontage Road, followed by the main lanes of IH-30, and the eastbound lanes of the IH-30 Frontage Road.

**East:** Directly east of the subject property is Stodghill Road, which is identified as an A4D (*i.e. major arterial, four [4] lane, divided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this are two (2) vacant tracts of land (*i.e. Tracts 10 & 10-3 of the R. Irvine Survey, Abstract No. 120*) zoned Commercial (C) District. East of this are the City limits between the City of Rockwall and the City of Fate and the City of Mobile City.

**West:** Directly west of the subject property are multiple vacant parcels of land zoned Agricultural (AG) District, Light Industrial (LI) District, and Commercial (C) District. Beyond this is John King Boulevard, which is identified as a P6D (*i.e. principal arterial, six [6] lane, divided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

MAP 1: LOCATION MAP  
YELLOW: SUBJECT PROPERTY



### **CHARACTERISTICS OF THE REQUEST**

The applicant has submitted a *Concept Plan* showing that the subject property will be subdivided into four (4) subdistricts (*i.e. Subdistricts 'A', 'B', 'C', & 'D'*) [see *Figure 1: Phasing Plan*]. *Subdistrict 'A'* will be 18.70-acres, and consist of [1] a regional detention pond, and [2] a *Large Format Retailer* (*i.e. IKEA*). *Subdistrict 'B'* will consist of 33.215-acres and will be designated for a future *Regional Shopping Center*. *Subdistrict 'C'* will consist of a 250-unit *Urban Residential style Condominium Building* on 4.64-acres, which will be constructed as a wrap product with a structure parking garage (*i.e. the proposed multi-family units*

will wrap around the parking garage, which will be situated at the center of the building). Subdistrict 'D' will consist of 10.92-acres and incorporate [1] a 225-unit Low-Rise Residential Community, and [2] a 25-unit townhome development. According to the Phasing Plan submitted by the applicant, the Large Format Retailer will be constructed with Phase 1, followed by the Low-Rise Residential Community with Phase 2, followed by the Urban Residential style Condominium Building in Phase 3, and finally the Regional Shopping Center in Phase 4. Based on the development standards submitted by the applicant, all of the subdistricts will be subject to limited Commercial (C) District land uses, and -- unless otherwise stated in the Planned Development District ordinance -- the density and dimensional requirements of the Commercial (C) District. In addition, staff has incorporated language that would require the proposed developments to meet the General Overlay District Standards as stipulated by Article 05, District Development Standards, of the Unified Development Code (UDC). The following is a breakdown of the specific standards for each of the proposed subdistricts:

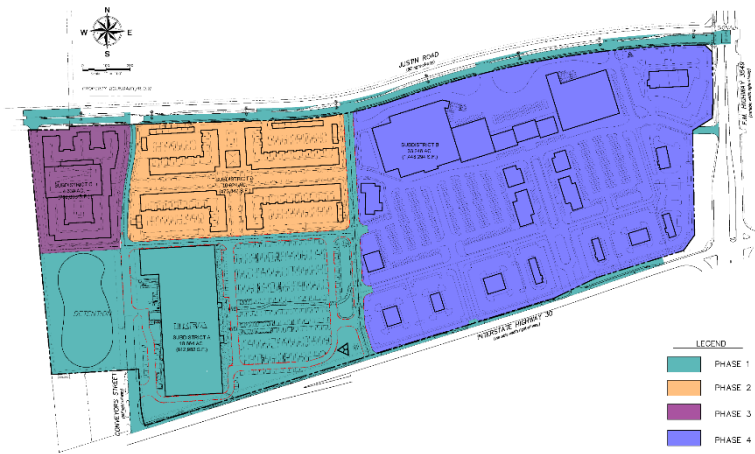


FIGURE 1: PHASING PLAN

Subdistrict 'A'.

As previously stated, Subdistrict 'A' will incorporate a ~3.471-acre detention pond and a Large Format Retailer (i.e. IKEA). The proposed Subdistrict Concept Plan shows that the proposed Large Format Retailer will have a building footprint of ~161,069 SF and a parking field that will consist of 650 parking spaces. The parking ratio used for the proposed Large Format Retailer was one (1) parking space per 250 SF of building area, which translates to a minimum parking requirement of 645 parking spaces. Based on this they are showing a parking surplus of five (5) parking spaces. Along with the Subdistrict Concept Plan, the applicant has provided building elevations for the proposed



FIGURE 2: RENDERING OF LARGE FORMAT RETAILER

Large Format Retailer that show that the proposed building will be ~43½-feet in total height and be designed to be consistent with the proposed company's corporate branding (see Figure 2). Staff has limited the land uses permitted within Subdistrict 'A' in the Planned Development District ordinance to prohibit all the land uses allowed in the Commercial (C) District that are inconsistent with the intent of the proposed Concept Plan. Additionally, Subdistrict 'A' shall be required to meet all of the density and dimensional requirements required for a property in a Commercial (C) District as stipulated by Article 05, District Development Standards, of the Unified Development Code (UDC), and which are summarized in Table 1 below.

TABLE 1. SUBDISTRICT 'A' DENSITY AND DIMENSIONAL REQUIREMENTS

MINIMUM LOT AREA	10,000 SF
MINIMUM LOT WIDTH	60'
MINIMUM LOT DEPTH	100'
MINIMUM FRONT YARD SETBACK (1)	25'
MINIMUM SIDE YARD SETBACK (2)	10'
MINIMUM REAR YARD SETBACK (2)	10'
MINIMUM BETWEEN BUILDINGS (2)	15'
MAXIMUM BUILDING HEIGHT (3)	60'
MAXIMUM LOT COVERAGE (4)	60%

**GENERAL NOTES:**

- 1: FROM FUTURE RIGHT-OF-WAY AS SHOWN ON THE ADOPTED MASTER THOROUGHFARE PLAN OR AS ACTUALLY EXISTS, WHICHEVER IS GREATER.
- 2: THE SETBACK CAN BE REDUCED TO ZERO (0) FEET WITH A FIRE RATED WALL.
- 3: BUILDING HEIGHT MAY BE INCREASED UP TO 240-FEET IF APPROVED THROUGH A SPECIFIC USE PERMIT (SUP) BY THE PLANNING AND ZONING COMMISSION AND CITY COUNCIL.
- 4: NO ADDITIONAL FLOOR AREA RATIO (FAR) REQUIREMENTS WILL REGULATE THE LOT COVERAGE OR FORM OF THE BUILDING.

Staff should also point out, that the proposed Planned Development District ordinance ties down both the *Subdistrict Concept Plan* and the building elevations. This means that -- *if this zoning case is approved* -- the applicant would be able to submit a site plan and not need to submit a PD Development Plan.

**Subdistrict 'B'.**

*Subdistrict 'B'* will consist of a future *Regional Shopping Center* that will be situated on a 33.215-acre portion of the subject property. While a *Concept Plan* for this subdistrict has been provided, the applicant has stated that this development could change depending on the retailers, restaurants, and entertainment land uses that are recruited for the *Regional Shopping Center*. Based on this staff is requiring a PD Development Plan prior to the submission of a site plan. A PD Development Plan constitutes an amendment to the approved *Concept Plan* in a Planned Development District ordinance and may be used where the developer requests -- *or the City Council requires* -- certain standards to be specified after the initial establishment of the Planned Development District. In short, a PD Development Plan allows the developer the flexibility to make changes to the approved *Concept Plan* and the City Council the discretion to approve these changes. Regardless of this requirement any development in *Subdistrict 'B'* will be subject to the density and dimensional requirements required for a property in a Commercial (C) District as stipulated by Article 05, *District Development Standards*, of the Unified Development Code (UDC), and which are summarized in *Table 2* below.



**FIGURE 3: CONCEPT PLAN FOR SUBDISTRICT 'B'**

**TABLE 2: LOT DIMENSIONAL REQUIREMENTS**

MINIMUM LOT AREA	10,000 SF
MINIMUM LOT WIDTH	60'
MINIMUM LOT DEPTH	100'
MINIMUM FRONT YARD SETBACK (1)	25'
MINIMUM SIDE YARD SETBACK (2)	10'
MINIMUM REAR YARD SETBACK (2)	10'
MINIMUM BETWEEN BUILDINGS (2)	15'
MAXIMUM BUILDING HEIGHT (3)	60'
MAXIMUM LOT COVERAGE (4)	60%
MINIMUM LANDSCAPING	20%

**GENERAL NOTES:**

- 1: FROM FUTURE RIGHT-OF-WAY AS SHOWN ON THE ADOPTED MASTER THOROUGHFARE PLAN OR AS ACTUALLY EXISTS, WHICHEVER IS GREATER.
- 2: THE SETBACK CAN BE REDUCED TO ZERO (0) FEET WITH A FIRE RATED WALL WHEN NOT ADJACENT TO A RIGHT-OF-WAY.
- 3: BUILDING HEIGHT MAY BE INCREASED UP TO 240-FEET IF APPROVED THROUGH A SPECIFIC USE PERMIT (SUP) BY THE PLANNING AND ZONING COMMISSION AND CITY COUNCIL.

4: NO ADDITIONAL FLOOR AREA RATIO (FAR) REQUIREMENTS WILL REGULATE THE LOT COVERAGE OR FORM OF THE BUILDING.

Subdistrict 'B' will also be subject to the land uses stipulated for the Commercial (C) District as required by Article 04, *Permissible Uses*, of the Unified Development Code (UDC); however, staff has limited these land uses to prohibit all the land uses allowed in the Commercial (C) District that are inconsistent with the intent of the proposed *Concept Plan*.

Subdistrict 'C'.

Subdistrict 'C' consist of a 250-unit *Urban Residential* style *Condominium Building* on 4.64-acres of land. Based on the number of units proposed, the residential density for this subdistrict will be 53.879 dwelling units per acre; however, the overall project will have a gross density of 7.41 dwelling units per acre as calculated by the requirements of the Unified Development Code (UDC). The proposed *Condominium Building* will be four (4) stories in total height -- with a clock tower element extending above the four stories --, and be designed as traditional wrap product, (i.e. where the four [4] stories of living units will wrap around a structured parking garage, which will be set in the center of the development). Based on the



FIGURE 4: RENDERING OF THE CONDOMINIUM BUILDING

building elevations provided by the applicant, the proposed structured parking garage will be visible along the western building façade, and only have limited visibility from Justin Road. The parking count proposed for the 250-units is 1½ parking spaces per dwelling unit, which equates to a total parking requirement of 375 parking spaces; however, the applicant has indicated that the proposed garage will incorporate a total of 378 parking spaces in the structured parking garage and an additional eight (8) parallel parking spaces for a surplus of 11 parking spaces (i.e. a total of 386 parking spaces provided). Furthermore, the building elevations show conformance to the material requirements of the *General Overlay District Standards* as stipulated by Article 05, *District Development Standards*, of the Unified Development Code (UDC). In addition, *Subdistrict 'C'* will be subject to the density and dimensional requirements required for a property in a Commercial (C) District as stipulated by Article 05, *District Development Standards*, of the Unified Development Code (UDC), and which are summarized in *Table 3* below.

TABLE 3: LOT DIMENSIONAL REQUIREMENTS

MINIMUM LOT AREA	10,000 SF
MINIMUM LOT WIDTH	60'
MINIMUM LOT DEPTH	100'
MINIMUM FRONT YARD SETBACK (1)	15'
MINIMUM SIDE YARD SETBACK (2)	10'
MINIMUM REAR YARD SETBACK (2)	10'
MINIMUM BETWEEN BUILDINGS (2)	15'
MAXIMUM BUILDING HEIGHT (3)	75'
MAXIMUM LOT COVERAGE (4)	60%
MINIMUM LANDSCAPING	20%

GENERAL NOTES:

- 1: FROM FUTURE RIGHT-OF-WAY AS SHOWN ON THE ADOPTED MASTER THOROUGHFARE PLAN OR AS ACTUALLY EXISTS, WHICHEVER IS GREATER.
- 2: THE SETBACK CAN BE REDUCED TO ZERO (0) FEET WITH A FIRE RATED WALL WHEN NOT ADJACENT TO A RIGHT-OF-WAY.
- 3: BUILDING HEIGHT MAY BE INCREASED UP TO 240-FEET IF APPROVED THROUGH A SPECIFIC USE PERMIT (SUP) BY THE PLANNING AND ZONING COMMISSION AND CITY COUNCIL.
- 4: NO ADDITIONAL FLOOR AREA RATIO (FAR) REQUIREMENTS WILL REGULATE THE LOT COVERAGE OR FORM OF THE BUILDING.

Staff should note, that the land uses for *Subdistrict 'C'* have been limited to only allow an *Urban Residential* style *Condominium Building*, *Home Occupation*, and any accessory land uses (i.e. *gym, pool, playground, etc.*). With regard to the proposed *Condominium Building*, staff has required that each unit be individually metered and deeded; however, -- as has been discussed with other similar projects in the *Harbor District* -- this does not preclude a single property owner from owning all of the deeds

for the *Condominium Building*. Finally, staff should note that the applicant has provided the *Concept Plan* and building elevations for this subdistrict, and -- based on the *Planned Development District ordinance*, if this zoning case is approved -- this development will not require a PD Development Plan and will be able to move to the site plan phase of the development process.

Subdistrict 'D'

Subdistrict 'D' will consist of a 225-unit *Low-Rise Residential Community* and a 25-unit townhome development on 10.92-acres. Based on the number of units proposed, the residential density for this subdistrict will be 22.89 dwelling units per acre; however, the overall project will have a gross density of 7.41 dwelling units per acre as calculated by the requirements of the Unified Development Code (UDC). The proposed *Low-Rise Residential Community* will consist of four (4) buildings that will front towards a narrowed, pedestrian scale street. Each of the buildings will be designed to have an 'L' shape to facilitate screening of the proposed surface parking lots. These buildings will also have garages incorporated into these areas that will service the *Low-Rise Residential Community*. The proposed 25 townhomes will be situated adjacent to Justin Road and along the eastern and western boundaries of the *Low-Rise Residential Community*. These will have direct access from the street and have garages constructed into the units. The parking count proposed for all 250-units is 1½ parking spaces per unit, which would equate to a total parking requirement of 375 parking spaces; however, in this subdistrict the applicant is proposing 178 surface parking spaces, 108 garage parking spaces, 38 covered parking spaces, and 56 parallel parking spaces. This is a total of 380 parking spaces or a surplus of five (5) parking spaces. Staff should note that based on these numbers, 58.40% of all units in this subdistrict will have garage or covered parking spaces. Furthermore, the building elevations show conformance to the material requirements of the *General Overlay District Standards* as stipulated by Article 05, *District Development Standards*, of the Unified Development Code (UDC). In addition, *Subdistrict 'D'* will be subject to the density and dimensional requirements required for a property in a Commercial (C) District as stipulated by Article 05, *District Development Standards*, of the Unified Development Code (UDC), and which are summarized in *Table 4* below.



FIGURE 5: RENDERING OF THE LOW-RISE MULTI-FAMILY COMMUNITY AND AMENITY CENTER

TABLE 4: LOT DIMENSIONAL REQUIREMENTS

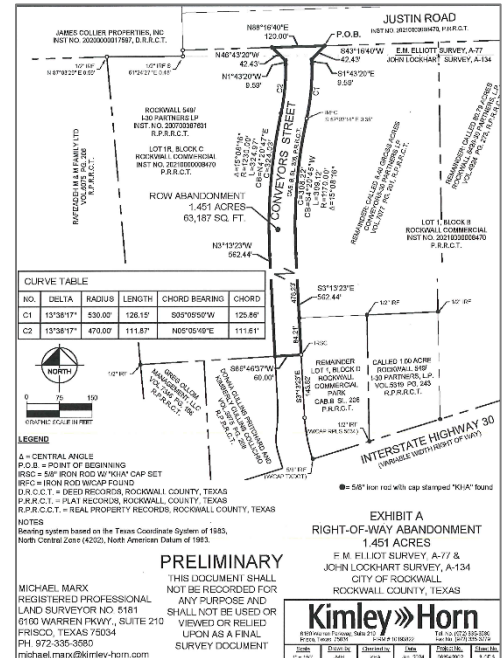
MINIMUM LOT AREA	10,000 SF
MINIMUM LOT WIDTH	60'
MINIMUM LOT DEPTH	100'
MINIMUM FRONT YARD SETBACK (1) & (5)	10'
MINIMUM SIDE YARD SETBACK (2)	10'
MINIMUM REAR YARD SETBACK (2)	10'
MINIMUM BETWEEN BUILDINGS (2)	15'
MAXIMUM BUILDING HEIGHT (3)	60'
MAXIMUM LOT COVERAGE (4)	60%
MINIMUM LANDSCAPING	20%

GENERAL NOTES:

- 1: FROM FUTURE RIGHT-OF-WAY AS SHOWN ON THE ADOPTED MASTER THOROUGHFARE PLAN OR AS ACTUALLY EXISTS, WHICHEVER IS GREATER.
- 2: THE SETBACK CAN BE REDUCED TO ZERO (0) FEET WITH A FIRE RATED WALL WHEN NOT ADJACENT TO A RIGHT-OF-WAY.
- 3: BUILDING HEIGHT MAY BE INCREASED UP TO 240-FEET IF APPROVED THROUGH A SPECIFIC USE PERMIT (SUP) BY THE PLANNING AND ZONING COMMISSION AND CITY COUNCIL.
- 4: NO ADDITIONAL FLOOR AREA RATIO (FAR) REQUIREMENTS WILL REGULATE THE LOT COVERAGE OR FORM OF THE BUILDING.
- 5: AWNINGS, PATIOS, STOOPS, OR SIMILAR RESIDENTIAL ENTRY FEATURES (AS DETERMINED BY THE DIRECTOR OF PLANNING AND ZONING) MAY EXTEND A MAXIMUM OF FIVE (5) FEET INTO THE FRONT YARD BUILDING SETBACK AND REQUIRED TEN (10) FOOT LANDSCAPE BUFFER ALONG JUSTIN ROAD.

As with *Subdistrict 'C'*, staff has limited the permitted land uses for *Subdistrict 'D'* to only allow a *Low-Rise Residential Community, Townhomes, Home Occupation*, and any accessory land uses (i.e. *gym, pool, playground, etc.*). With regard to the proposed *Low-Rise Residential Community*, staff has required that each unit be individually metered and deeded; however, -- as *previously stated* -- this does not preclude a single property owner from owning all of the deeds for the *Condominium Building*. Finally, staff should note that the applicant has provided the *Concept Plan* and building elevations for this subdistrict, and -- *based on the Planned Development District ordinance, if this zoning case is approved* -- this development will not require a PD Development Plan and will be able to move to the site plan phase of the development process.

Beyond the *Concept Plan*, the applicant is also requesting that the City abandon Conveyor Street north of the property that is situated on the west side of Conveyor Street (i.e. *north of the Lot 1, Block C, Rockwall Commercial Park Addition -- the Rockwall Pawn*). This includes all of Conveyor Street from Justin Road to ~258.00-feet from the intersection of Conveyor Street and the IH-30 Frontage Road (see *Figure 6*). Based on this staff has prepared a companion ordinance for this case that will abandon this roadway. This ordinance will need to be read simultaneously with the Planned Development District ordinance.



**FIGURE 6: PORTION OF CONVEYOR STREET TO BE ABANDONED**

**INFRASTRUCTURE**

Based on the proposed request, when the property is developed the following infrastructure is required to be constructed to provide adequate public services for the subject property:

- (1) Water. All water improvements shall be installed in accordance with *Infrastructure Study* approved by the City of Rockwall. In addition, the applicant will be required to construct all water lines in accordance with the Engineering Department's *Standards of Design and Construction Manual* and the Master Water Plan.
- (2) Wastewater. All on-site and off-site wastewater improvements shall be installed in accordance with *Infrastructure Study* approved by the City of Rockwall. In addition, the applicant will be required to construct all wastewater lines in accordance with the Engineering Department's *Standards of Design and Construction Manual* and the Master Wastewater Plan.
- (3) Roadways. Justin Road is identified as an A4D (i.e. *major arterial, four [4] lane, divided roadway*), which requires a minimum of an 85-foot right-of-way and two (2), 25-foot back-to-back concrete streets with a 14-foot median. Currently, half of this roadway has been constructed. When developed, the remaining portion of this roadway and any lights or appurtenances will need to be provided. In addition, the applicant will need to construct an eight (8) foot trail along Justin Road. In addition, Conveyor Street is required to be a 35-foot back-to-back concrete street, with five (5) foot sidewalks. The applicant will need to verify the width of the portion of Conveyor Street that will remain a public roadway, and improve this portion of the roadway to its ultimate width.
- (4) Drainage. Detention will be required and sized per the Engineering Department's *Standards of Design and Construction Manual* and the required drainage study.

**CONFORMANCE TO THE CITY'S CODES**

The proposed Planned Development District conforms to the majority of the City's code requirements; however, it should be noted that the development standards for each subdistrict contained within the Planned Development District ordinance deviate from the requirements of the Unified Development Code (UDC), the Municipal Code of Ordinances, and the Engineering Department's *Standards of Design and Construction Manual* in the following ways:

## General Standards

- (1) Open Space. According to Article 10, *Planned Development Regulations*, of the Unified Development Code (UDC), “(a) minimum of 20.00% of the gross land area within the entire Planned Development (PD) District shall be devoted to public and private open space.” For the proposed Planned Development District this would equate to a minimum of 13.495-acres (*i.e.* 67.475-acres x 20.00% = 13.495-acres); however, the applicant is requesting to reduce the open space percentage to 13.50%, which would equate to a minimum of 9.109-acres (*i.e.* 67.475-acres x 13.50% = 9.109125-acres).
- (2) Landscape Buffer (Justin Road). According to Article 08, *Landscape and Fence Standards*, of the Unified Development Code (UDC), “(a)ll landscape buffers adjacent to a public right-of-way shall incorporate ground cover, a *built-up berm* and shrubbery along the entire length of the frontage.” In this case, the applicant is proposing to provide a ten (10) foot landscape buffer along Justin Road; however, the applicant is proposing to remove the berm requirement. The main purpose behind this request is that Justin Road requires an eight (8) foot trail system -- *per the Master Trial Plan contained in the OURHometown Vision 2040 Comprehensive Plan* --, and the applicant has expressed concern that the berm would be difficult to establish in the required ten (10) foot landscape buffer.

## Subdistrict 'A'

- (1) Building Materials. According to the *General Overlay District Standards* contained in Article 05, *District Development Standards*, of the Unified Development Code (UDC), all buildings in an *Overlay District* are required to be constructed with: [1] 90.00% *Primary Materials*, [2] 20.00% natural or quarried stone, [3] have no more than 50.00% cementitious materials, and [4] incorporate accent brick and stone. *Primary Materials* in this case are defined as “...stone, brick, glass curtain wall, glass block, tile, and custom Concrete Masonry Units (*i.e.* CMUs that have been sandblasted, burnished or that have a split face -- light weight block or smooth faced CMU shall be prohibited).” In this case, the applicant is proposing updated building material requirements in the Planned Development District ordinance that allow the use of tilt-up concrete panel (*i.e.* tilt-wall construction), and has stated an intent to utilize this in the building’s design in *Subdistrict A*. Staff should note that the original submittal by the applicant proposed the use of integrated metal panel; however, the applicant has since changed the building elevations in favor of tilt-up concrete panel.
- (2) Articulation. According to the *General Commercial District Standards* contained in Article 05, *District Development Standards*, of the Unified Development Code (UDC), all *Primary Building Façades* -- which is all facades in an overlay district -- require horizontal and vertical projections in accordance with *Figure 7* (see *Page 5-10 of Article 05; UDC*). In this case, the proposed Planned Development District ordinance exempts *Subdistrict A* from the articulation requirements.
- (3) Roof Design Standards. According to the *General Overlay District Standards* contained in Article 05, *District Development Standards*, of the Unified Development Code (UDC), “...structures having a footprint 6,000 SF or greater shall have the option of being constructed with either a pitched, parapet, or mansard roof system as long as the roof system is enclosed on all sides.” In this case, the Planned Development District ordinance allows flat roofs without parapets in *Subdistrict A*; however, the applicant has included language that will require all rooftop mechanical equipment or appurtenances to be screened with the exception of solar panels.
- (4) Architectural Elements. According to the *General Overlay District Standards* contained in Article 05, *District Development Standards*, of the Unified Development Code (UDC), “(a)ll buildings that are less than 50,000 SF shall be designed to incorporate a minimum of four (4) architectural elements, buildings over 50,000 SF shall include a minimum of six (6) architectural elements, and buildings over 100,000 SF shall include a minimum of seven (7) architectural elements.” In this case, the proposed *Large Format Retailer* will have a building footprint of ~161,069 SF, which would require seven (7) of the architectural elements listed in the *General Overlay District Standards*; however, the applicant has included language in the Planned Development District ordinance that would limit the number of required architectural elements to two (2).
- (5) Signage. The signage requirements proposed for *Subdistrict A* deviate from the requirements of Chapter 32, *Signs*, of the Municipal Code of Ordinances in the following ways:
  - (a) Pole Signs. According to Chapter 32, *Signs*, of the Municipal Code of Ordinances, pole signs are only permitted adjacent to IH-30, shall not exceed a maximum height of 30-feet, and have a maximum sign area of 200 SF. In this

case, the proposed Planned Development District ordinance allows one (1) freestanding pole sign in *Subdistrict A* that is 120-feet in height and that has three (3) sign faces that are a maximum of 700 SF each.

- (b) Wall Signs. According to Chapter 32, *Signs*, of the Municipal Code of Ordinances, wall signs are permitted "...as long as the total face area of the attached signs does not exceed ten [10] percent of the front face area of the building or store front as established in the approved plans submitted to the city, or 60 square feet, whichever is greater." In this case, the Planned Development District ordinance has provisions that allow the following percentages of wall signs: [1] five (5) percent on the north façade, [2] 15.00% on the south façade, [3] 20.00% on the east façade, and [4] five (5) percent on the west façade. In addition, the ordinance also has allowances for two (2), 700 SF *Digital Wall or Banner Signs* on the southern or eastern building façades.
- (c) Traffic Signs. According to Chapter 32, *Signs*, of the Municipal Code of Ordinances, traffic signs are permitted to be a maximum of six (6) square feet in size, stand a maximum of three (3) feet in height, and not contain a commercial message (*with the exception of the logo which is limited to only signs adjacent to driveways*). In this case, the applicant is proposing traffic signs that will range in size from two (2) square feet to ten (10) square feet, be allowed to have a commercial message, and stand a maximum of five (5) feet in height.
- (d) Undefined Sign Types. The applicant is also proposing to incorporate *Flag Pole Signs, Cart Signs, Parking Memorizer Signs, and Promotional Message Signs*, all of which are not permitted sign types according to Chapter 32, *Signs*, of the Municipal Code of Ordinances.

#### Subdistrict 'B'.

- (1) Signage. The signage requirements proposed for *Subdistrict B* deviate from the requirements of Chapter 32, *Signs*, of the Municipal Code of Ordinances in the following ways:
  - (a) Shopping Center Signs. According to Chapter 32, *Signs*, of the Municipal Code of Ordinances, the City Council is permitted to approve *Shopping Center Signs* that are larger than 200 SF but not to exceed 400 SF and that do not exceed 30-feet in height. In this case, the Planned Development District is proposing the ability to have three (3) *Shopping Center Signs* at the main points of ingress/egress for the shopping center. These signs will be 35-feet in height and a maximum of 360 SF in size. They are anticipated to be off of the IH-30 Frontage Road and Stodghill Road [FM-549].
  - (b) Off-Premise Signs. According to Chapter 32, *Signs*, of the Municipal Code of Ordinances, off-premise signs are prohibited. In this case, the applicant has included language that would allow the three (3) shopping center signs proposed for *Subdistrict B* to include signage for the *Residential Developments* proposed in *Subdistrict C & D*.

#### Subdistrict 'C'.

- (1) Parking Requirements. According to *Table 5: Parking Requirement Schedule* of Article 06, *Parking and Loading*, of the Unified Development Code (UDC), the minimum parking requirements for a *Multi-Family Unit* is as follows: [1] one (1) bedroom units require 1½ parking spaces per unit, [2] two (2) bedroom units require two (2) parking spaces per unit, and [3] three (3) bedroom units require 2½ parking spaces per unit. In this case, the applicant is proposing to park all 250 *Urban Residential style Condominium Units* at 1½ parking spaces per unit.

#### Subdistrict 'D'.

- (1) Parking Requirements. According to *Table 5: Parking Requirement Schedule* of Article 06, *Parking and Loading*, of the Unified Development Code (UDC), the minimum parking requirements for a *Multi-Family Unit* are as follows: [1] one (1) bedroom units require 1½ parking spaces per unit, [2] two (2) bedroom units require two (2) parking spaces per unit, and [3] three (3) bedroom units require 2½ parking spaces per unit. In this case, the applicant is proposing to park all 225 *Low-Rise Residential Units* at 1½ parking spaces per unit.



## CONFORMANCE WITH OURHOMETOWN VISION 2040 COMPREHENSIVE PLAN

According to the *Future Land Use Plan* contained in the OURHometown Vision 2040 Comprehensive Plan, the subject property is situated within the *IH-30 Corridor District* and is designated for *Special Commercial Corridor* land uses. The *Plan* defines the *Special Commercial Corridor*, as a "...land use designation [that] is intended to provide an area for commercial/retail and regional commercial/retail activity centers that are intended to support and serve the entire region." The *Primary Land Uses* listed under this land use designation include: *Regional Shopping Center, Entertainment, Retail, Personal Services, Restaurant, Corporate Offices, Employment, and Recreation* land uses; and, the *Secondary Land Uses* listed under this land use designation include: *Residential, Open Space, Parks, Trails, Banks, Service Stations, and Institutional/Civic* land uses. The *Plan* also states that the secondary land uses should be *integrated* into the larger development. In this case, the applicant is proposing [1] a *Large Format Retailer*, [2] a *Regional Shopping Center*, [3] a 250-unit *Urban Residential style Condominium Building*, [4] a 225-unit *Low-Rise Residential Community*, and [5] a 25-unit *Townhome Development*, and has stated that the intent of the project is to provide a "...vibrant mixed-use environment ..." Based on this -- *and the Concept Plan and the land uses outlined in the Planned Development District ordinance* --, the project does appear to be in conformance with the *Future Land Use Plan* and the *Special Commercial Corridor* land use designation.

According to Subsection 01.04, *Calculation of Density*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), "(t)he calculation of allowable density for residential developments shall be based on the gross site area including right-of-way, floodplain, open space and public/private parks that will be dedicated to the City or preserved and maintained by some other mechanism." Based on this calculation method, the gross density for the proposed development is 7.41 dwelling units per acre (i.e. 500-units/67.475-acres = 7.41), which translates to a gross *residential* density (i.e. a density for just Subdistricts 'C' & 'D') of 32.13 dwelling units per gross residential acre (i.e. 500-units/15.56-acres = 32.1337). With this being said, the *Future Land Use Plan* does not stipulate a residential density for the *IH-30 Corridor District* or the *Special Commercial Corridor* land use. In this case, the determination for residential density is left to the discretion of the City Council -- *pending a recommendation from the Planning and Zoning Commission* -- on a determination that the overall project conforms to the intent of the *IH-30 Corridor District*. Staff should note, that the proposed density is less than half the density of the *Harbor District*, which has a gross density of 15.316 dwelling units per acre.

Looking at the pertinent *District Strategies* for the *IH-30 Corridor District*, *Strategy #1* states that, "(t)he specific goals and policies contained in Section 02.01, *IH-30 Corridor Plan*, of Appendix 'B', *Corridor Plans*, of this [the] Comprehensive Plan should be considered when reviewing new development within the IH-30 Corridor." These strategies were taken from the *IH-30 Corridor Planning Study*, which was prepared in conjunction with the OURHometown Vision 2040 Comprehensive Plan. This *Planning Study*, involved public hearings where Planning Department staff engaged with the public to create a plan for the *IH-30 Corridor* that could address [1] retail/business retention in the corridor, [2] provide strategies to target regional land uses, and [3] provide a plan for strategically located vacant land along IH-30. Based on the findings from this *Planning Study*, the subject property was identified as being in an *Opportunity Zone* or a segment of the existing corridor with vacant or strategically placed underutilized land that can be developed or redeveloped with the highest and best use for the corridor. The subject property -- *which also referred to as Strategically Located Property #4 in the study* -- was ultimately identified as being an ideal site for a development conforming to the *Town Center Model* or the *Regional Destination Center Model*. Based on the applicant's *Concept Plan*, the project does incorporate various elements of these models including: [1] a horizontally mix-use development scheme, [2] large destination retailer, [3] an integrated retail shopping center with restaurant pad sites, and [4] walkable/pedestrian friendly elements integrating land uses; however, it also incorporates elements of the *Strip Retail Center Model* (e.g. *linear development paralleling the highway, highly visible parking fields that are surfaced parked, and pad sites adjacent to the highway*). Based on this, conformance to this *District Strategy* is a discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission.

Looking at other pertinent *District Strategies* for the *IH-30 Corridor District* and how the proposed *Concept Plan* conforms to these strategies, staff identified the following:

- (1) *Open Space*. The *District Strategies* state that "(l)arge commercial centers should incorporate green space or open space at the center of the development that can be used to provide amenity or breakup large parking fields."

*Staff Response*: Staff has requested that the applicant incorporate a central, functional green space or open space that can be used to connect the residential land uses to the future *Regional Shopping Center* and the proposed *Large Format Retailer*.

Applicant's Response: In response to staff's request, the applicant has included a linear green space/open space with a trail that connects the future *Regional Shopping Center* to the trails that run through the *Large Format Retailer* and the *Residential Developments* in *Subdistricts C & D*.

Conformance: The proposed linear green space/open space does appear to meet the intent of this *District Strategy*.

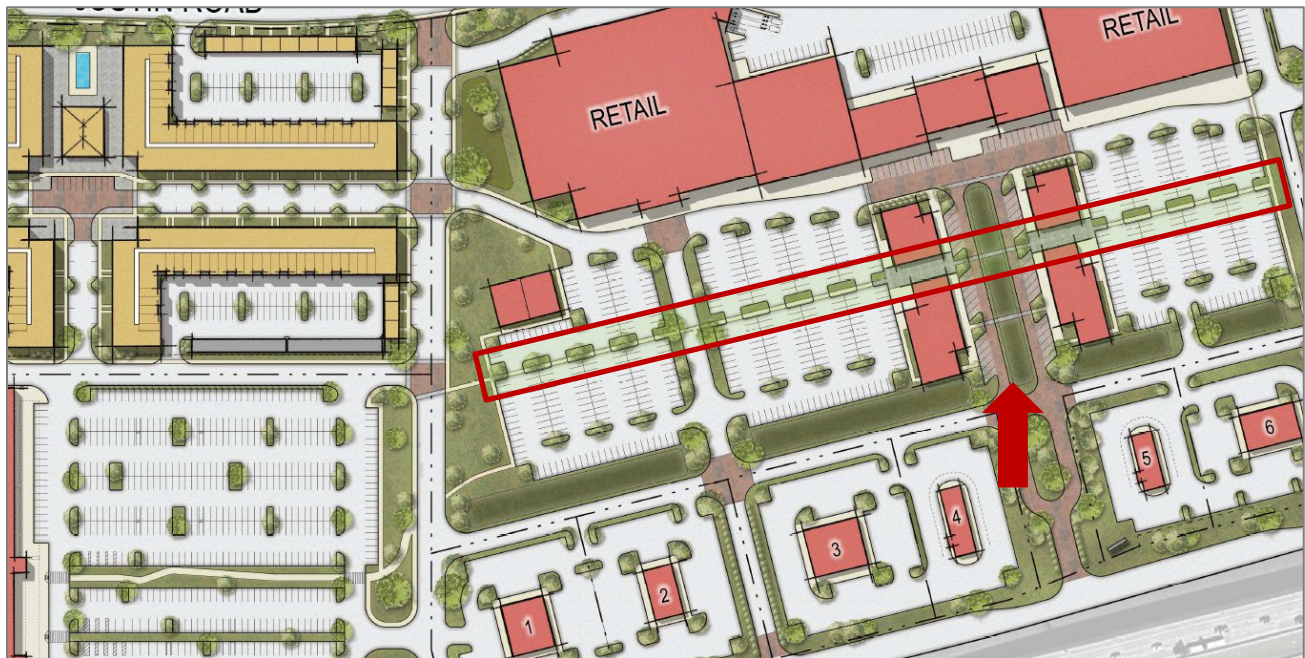


FIGURE 7. LINEAR GREEN SPACE/OPEN SPACE ADDED TO THE PLAN (OUTLINED IN RED). THE CENTRAL OPEN SPACE PROVIDED IN THE REGIONAL SHOPPING CENTER IS DENOTED WITH THE RED ARROW.

- (2) Eastern Entry Portal. The *District Strategies* call for an *Eastern Entry Portal* at the eastern side of the *IH-30 Corridor District*, and provide four (4) possible locations for the *Eastern Entry Portal*. One of these four (4) locations is located at the southeast corner of the subject property (i.e. the northwest corner of the intersection of the *IH-30 Frontage Road* and *Stodghill Road*).

Staff Response: Staff requested that the applicant incorporate an *Eastern Entry Portal* into the design of the future *Regional Shopping Center* as part of the PD Development Plan for this subdistrict. In addition, the Planning and Zoning Commission -- at their work session meeting on August 27, 2024 -- requested that the *Eastern Entry Portal* be of a similar height as the proposed 120-foot sign for the *Large Format Retailer*.

Applicant's Response: In response to this request, the applicant has incorporated language into the Planned Development District ordinance that will require a *Gateway/Entry Portal Sign* be incorporated into the design of *Subdistrict 'B'*. Additionally, staff added language to allow the Architectural Review Board (ARB) to review the design of the *Entry Portal*, which is consistent with how the City's other *Entry Portals* have been approved (i.e. the *entry portals* for *SH-66* and the *Harbor District*). The applicant also consented to language that would allow the sign to be 120-feet in height to match the height of the *Large Format Retailer*.

Conformance: Based on the applicant's willingness to include this language in the Planned Development District ordinance, this aspect of the applicant's request conforms to this *District Strategy*.

With regard to the policies and goals for residential and commercial development contained in the Comprehensive Plan, the applicant's request incorporates the majority of these objectives into the proposed Planned Development District ordinance; however, staff has identified the following non-conformities and provided the following recommendations to the applicant:

- (1) CH. 08; Section 2.05; Goal #3 | Policy #1 (Page 8-4). High-density developments that incorporate more than ten (10) units per gross acre should incorporate structured parking that is visually screened from public view on all sides of the

development. This can be achieved by wrapping the parking garage with buildings or creating false façades. Surface parking should be reserved to accommodate visitors, office staff, and prospective residents.

Staff's Response: In this case, only one (1) of the two (2) *Residential Developments* is incorporating a structured parking garage. In addition, the submitted *Building Elevations* show that the building that is incorporating the structured parking garage will have one (1) side of the garage that will be visible to adjacent properties and Justin Road/IH-30. To bring this closer into compliance for the *Residential Development* that does incorporate the structured parking garage, the applicant should look to design the building to better hide the structured parking garage (e.g. *better building design, a more complete wrap, green screens, etc.*).

Applicant's Response: In response to staff's request the applicant has incorporated a green screen that will better screen the exposed parking garage that will be visible from Justin Road along the western building façade (see *Figure 8 below*). The request still only incorporates a parking garage for one (1) of the two (2) *Residential Developments*; however, the applicant has designed the *Residential Development* -- that utilizes surface parking -- in a manner that screens the surface parking lots with townhomes and covered parking.

Conformance: Based on this, the applicant -- *while still not conforming to this policy* -- has brought the request closer into conformance with the OURHometown Vision 2040 Comprehensive Plan.



**FIGURE 8. GREEN SCREEN PROVIDED TO SCREEN THE PARKING GARAGE.**

- (2) CH. 08; Section 2.05; Goal #4 | Policy #1 (Page 8-4). If structured parking is not provided on a high-density development, garages dedicated to each unit should be provided.

Applicant's Response: In this case, the applicant is proposing that *Subdistrict 'D'* -- which contains the *Residential Development with surface parking* -- incorporate the following: [1] a minimum of 33.20% of the units will have garages, [2] a minimum of ten (10) percent of the units will have garages that are dedicated to a specific unit (*i.e. that will have accessibility directly from the unit to the garage*), and [3] a minimum of 15.20% of the units will have covered parking. This means that there will be 104 units (or 41.60% of the units) that will be surfaced parked, and 146 units (*i.e. 58.40% of the units*) that will have garages or covered parking.

Conformance: This aspect of the applicant's request does not conform to the OURHometown Vision 2040 Comprehensive Plan.

- (3) CH. 09; Section 02; Goal #1 | Policy #4 (Page 9-1). Commercial, retail, and office developments should look to create central greenspaces that are well landscaped and functional promoting increased social interaction. Central greenspaces should be connected from all points of the development, and ultimately provide connection to the City's greater trail system.

Staff's Response: Staff has requested that the applicant provide a central open space that can provide trail connections from the proposed residential subdistricts to the future *Regional Shopping Center* and *Large Format Retailer*.

Applicant's Response: As previously stated, the applicant has incorporated a central green space into the *Regional Shopping Center* that provides connections to the *Large Format Retail* and the *Residential Developments* (see *Figure 7 above*).

Conformance: Based on this, the applicant's proposal is in conformance with this policy of the OURHometown Vision 2040 Comprehensive Plan.

- (4) CH. 09; Section 02; Goal #1 | Policy #6 (Page 9-1). Developments should incorporate pedestrian elements (i.e. benches, trash receptacles, etc.) at regular intervals to ensure that developments are created to a pedestrian scale.

Staff's Response: Currently, the Planned Development District ordinance does not incorporate these elements into the proposed development; however, staff has included a condition of approval for this case that will require these elements to be incorporated into the future *Regional Shopping Center*. Based on this, these elements will need to be incorporated into the PD Development Plan ordinance for *Subdistrict B*. Staff will also look to incorporate the same elements into *Subdistrict C & D* at the time of site plan approval.

Conformance: With the incorporation of this into the conditions of approval, the applicant's request will conform to this policy of the OURHometown Vision 2040 Comprehensive Plan.

- (5) CH. 09; Section 02; Goal #2 | Policy #3 (Page 9-2). Shopping centers and big-box retail buildings should incorporate planters, ornamental pots, and landscape beds adjacent to building façades that are visible from streets and open space.

Staff's Response: Currently, the Planned Development District ordinance does not incorporate these elements into the proposed development; however, staff has included a condition of approval for this case that will require these elements to be incorporated into *Subdistricts B, C & D*.

Conformance: With the incorporation of this into the conditions of approval, the applicant's request will conform to this policy of the OURHometown Vision 2040 Comprehensive Plan.

- (6) CH. 09; Section 02; Goal #3 | Policy #5 (Page 9-2). Big-Box buildings should be highly articulated both horizontally and vertically, and use material/style breaks to give the appearance of multiple storefronts.

Staff's Response: The proposed building in *Subdistrict A* does not meet these requirements; however, these requirements appear to conflict with the corporate branding of the proposed end user.

Conformance: *Subdistrict A* of the applicant's plan does not conform with this policy. Based on this, this will be a discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission.

- (7) CH. 09; Section 02; Goal #4 | Policy #1 (Page 9-2). Non-residential buildings should be constructed of masonry materials and contain a minimum of 20% stone on every façade that faces a street, public open space, trail or park.

Staff's Response: With the exception of *Subdistrict A*, the overall development appears to be in conformance with this policy; however, as previously stated the proposed *Large Format Retailer* has specific corporate branding that conflicts with this requirement.

Applicant's Response: To address the issues identified by staff in *Subdistrict A*, the applicant has consented to removing the use of integrated metal panel as a permitted building material in *Subdistrict A*, and has indicated that the *Large Format Retailer* will utilize tilt-wall construction.

Conformance: While not fully conforming to the OURHometown Vision 2040 Comprehensive Plan, the applicant's changes bring the request closer to compliance.

- (8) CH. 09; Section 02; Goal #4 | Policy #2 (Page 9-2). Non-residential buildings should be architecturally finished on all four (4) sides with the same materials, detailing and features.

Staff's Response: The building proposed for *Subdistrict A* does not appear to meet the intent of this policy; however, this is not atypical of the *Large Format Retailer's* corporate branding.

Conformance: *Subdistrict A* of the applicant's plan does not conform with this policy. Based on this, this will be a discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission.

- (9) CH. 09; Section 02; Goal #5. Maintain sign standards for the City that will reduce the potential for visual clutter, while providing clear business identification.

Staff's Response: The sign requirements for *Subdistrict A* as proposed in the Planned Development District ordinance do *not* conform to the City's sign code. Specifically, the sign requirements allow [1] additional wall signage, [2] large digital wall signs, [3] signage types not defined or permitted by the Municipal Code of Ordinances (*i.e. Flag Pole Signs, Cart Signs, Parking Memorizer Signs, and Promotional Messaging Signs*), and [4] a pole sign that is larger and taller than what is typically permitted. There are also allowances for *Subdistrict B* that allow off-site signage for the *Residential Developments*.

Conformance: This does not conform with this policy of the OURHometown Vision 2040 Comprehensive Plan. This will be a discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission.

- (10) CH. 09; Section 02; Goal #6 | Policy #1 (Page 9-2). All garbage storage/dumpster enclosures and delivery areas should be screened from public view (*i.e. streets, open spaces, drive isles, etc.*) and adjacent properties, and be generally situated behind the building to reduce the visual impact.

Staff's Response: The *Concept Plan* shows that the rear loading docks of the buildings in *Subdistrict B* will face onto Justin Road, which will be a major east/west collector roadway in the future. Increased landscaping, wingwalls, and other forms of screening should be incorporated into the request to help mitigate these issues. In addition, the buildings can be better designed to provide a "Dual Front" to help meet the four (4) sided architectural issues and decrease the visibility issues.

Conformance: Based on the current *Concept Plan*, staff cannot confirm conformance with this policy of the OURHometown Vision 2040 Comprehensive Plan; however, this will be a design concern that will need to be addressed in the PD Development Plan and site plan for *Subdistrict B*.

Considering the proposed Planned Development District ordinance and the applicant's concept plan and conceptual building elevations, the request does appear to generally conform to the majority of the goals and policies of the OURHometown Vision 2040 Comprehensive Plan, the Unified Development Code (UDC), and the Municipal Code of Ordinances; however, -- as staff has outlined in this case memo -- there are non-conforming aspects of the applicant's request. These aspects make this a discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission. In making a determination on the request, the City Council and Planning and Zoning Commission should weigh the requested density with the potential economic and physical impacts of the proposed *Large Format Retailer and Regional Shopping Center*, and how they further the goals for the IH-30 Corridor in conjunction with the City's plans.

## **NOTIFICATIONS**

On August 21, 2024, staff mailed 43 notices to property owners and occupants within 500-feet of the subject property. There are no Homeowner's Associations (HOAs) or Neighborhood Organizations within 1,500-feet of the subject property participating in the Neighborhood Notification Program. Additionally, staff posted a sign on the subject property, and advertised the public hearings in the Rockwall Herald Banner as required by the Unified Development Code (UDC). At the time this report was drafted, staff had received two (2) notices within the 500-foot notification buffer in favor of the applicant's request.

## **CONDITIONS OF APPROVAL**

If the Planning and Zoning Commission chooses to recommend approval of the applicant's request to rezone the subject property from a Commercial (C) District to a Planned Development District for limited Commercial (C) District land uses, then staff would propose the following conditions of approval:

- (1) The applicant shall be responsible for maintaining compliance with the concept plan and development standards contained in the Planned Development District ordinance.
- (2) The applicant shall incorporate pedestrian elements (*i.e. benches, trash receptacles, etc.*) landscape planters, ornamental pots, and/or landscape beds into the design of all subdistricts. This will be reviewed at the time of site plan for *Subdistrict A, C, & D*, and PD Development Plan for *Subdistrict B*.

- (3) Any construction resulting from the approval of this Zoning Change shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

### STAFF USE ONLY

PLANNING & ZONING CASE NO. \_\_\_\_\_

**NOTE:** THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: \_\_\_\_\_

CITY ENGINEER: \_\_\_\_\_

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

#### PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) <sup>1</sup>
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- FINAL PLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- REPLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

#### SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

#### ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) <sup>1 & 2</sup>
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) <sup>1</sup>

#### OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) <sup>2</sup>

#### NOTES:

<sup>1</sup>: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.  
<sup>2</sup>: A ~~\$1,000.00~~ FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

### PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS **NORTHWEST CORNER OF FM 3549 AND EAST INTERSTATE 30**

SUBDIVISION **ROCKWALL COMMERCIAL**

LOT

VARIOUS

BLOCK

VARIOUS

GENERAL LOCATION

### ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING **COMMERCIAL (C)**

CURRENT USE **UNIMPROVED LAND**

PROPOSED ZONING **PLANNED DEVELOPMENT**

PROPOSED USE **MIXED-USE**

ACREAGE **67.475 ACRES**

LOTS [CURRENT] **4**

LOTS [PROPOSED] **TBD**

**SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB316Z THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

### OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER **ROCKWALL 549/I-30 PARTNERS LP  
CONVEYOR I-30 PARTNERS LP**

APPLICANT **JACKSON WALKER LLP**

CONTACT PERSON **JAMES J. MELINO**

CONTACT PERSON **WILLIAM DAHLSTROM & VICTORIA MORRIS**

ADDRESS **8750 N CENTRAL EXPRESSWAY**

ADDRESS **2323 ROSS AVENUE**

**SUITE 1735**

**SUITE 600**

CITY, STATE & ZIP **DALLAS, TX 75231**

CITY, STATE & ZIP **DALLAS, TX 75201**

PHONE **(214) 532-3924**

PHONE **(214) 953-5932**

E-MAIL **JIM@CAMBRIDGECOS.COM**

E-MAIL **WDAHLSTROM@JW.COM / VMORRIS@JW.COM**

### NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED James J. Melino, Authorized Representative of [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING: Rockwall 549/I-30 Partners, LP and Conveyor/I-30 Partners, LP

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ \_\_\_\_\_, TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE \_\_\_\_\_ DAY OF August, 2024. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

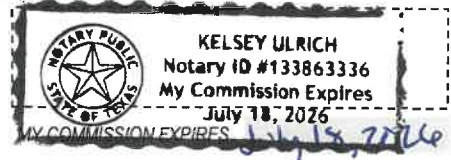
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 14th DAY OF August, 2024.

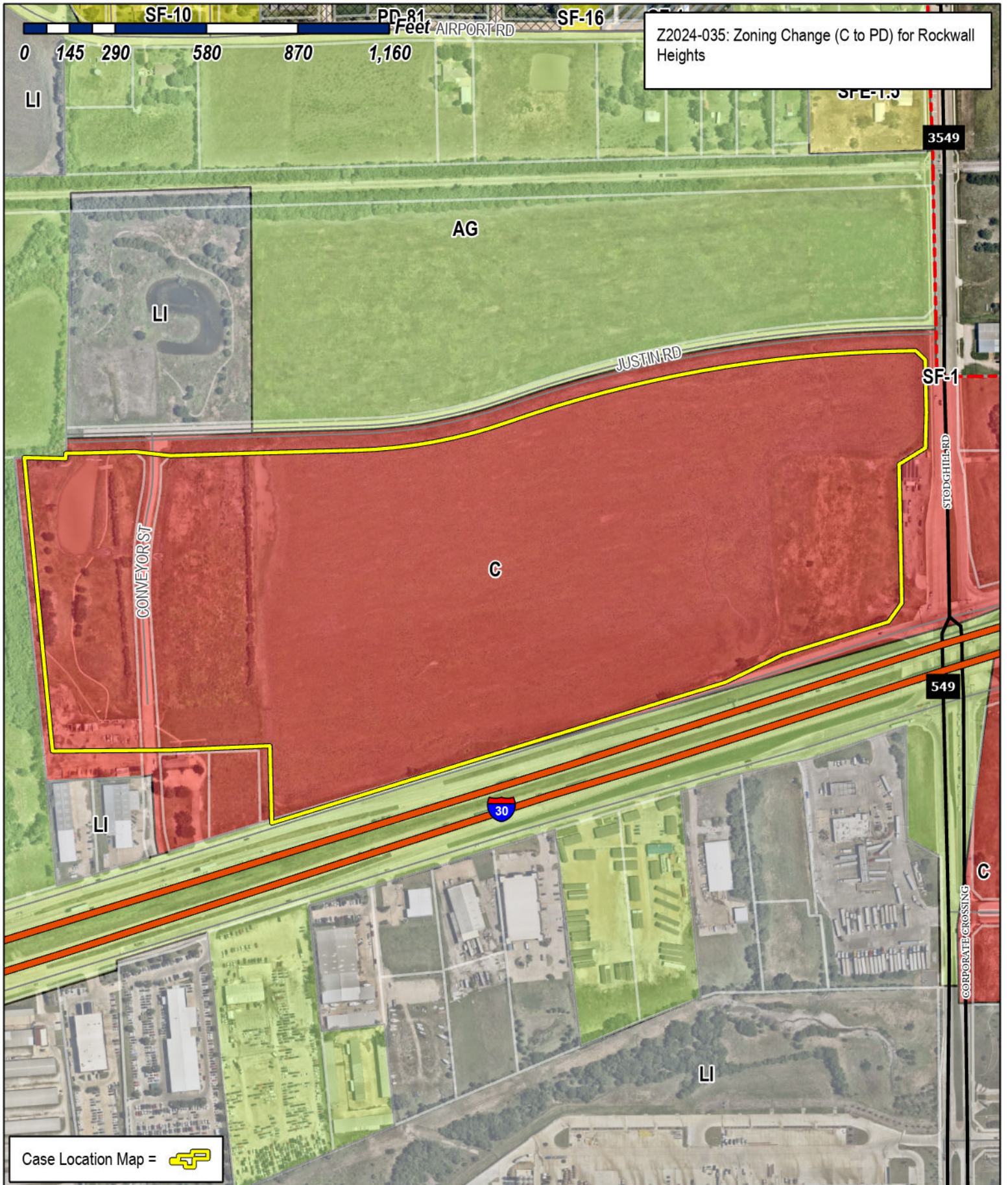
OWNER'S SIGNATURE

*By: James J. Melino*


NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

*Kelsey Ulrich*





Z2024-035: Zoning Change (C to PD) for Rockwall Heights

Case Location Map = 



# City of Rockwall

Planning & Zoning Department  
 385 S. Goliad Street  
 Rockwall, Texas 75087  
 (P): (972) 771-7745  
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



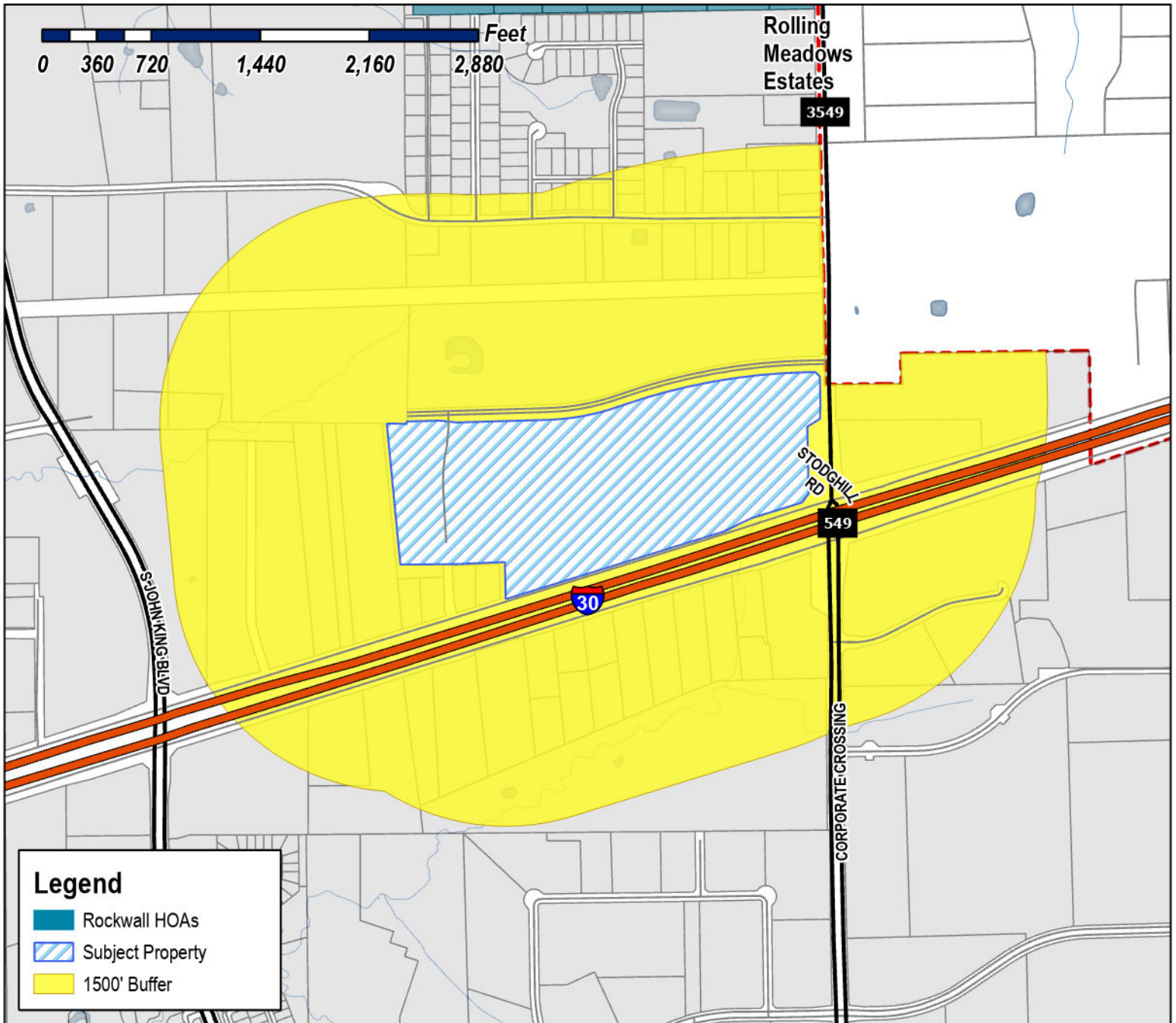




# City of Rockwall

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385 S. Goliad Street  
Rockwall, Texas 75087  
(P): (972) 771-7745  
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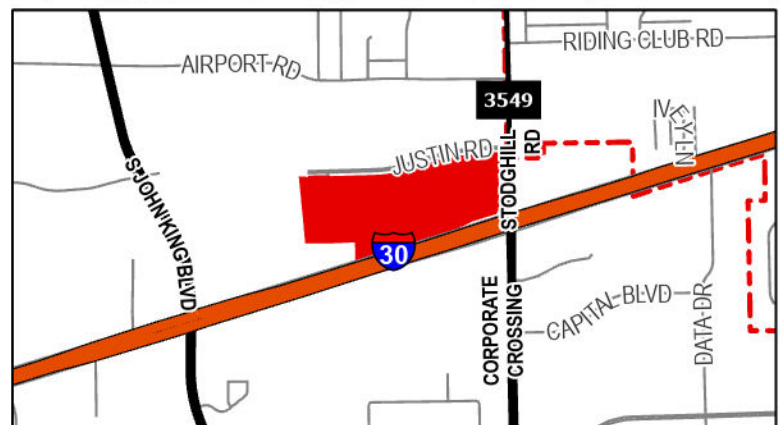
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**Case Number:** Z2024-035  
**Case Name:** Zoning Change from Commercial (C) District to a Planned Development (PD) District  
**Case Type:** Zoning  
**Zoning:** Commercial (C) District  
**Case Address:** NEC of 3549 and E I-30

**Date Saved:** 8/16/2024

For Questions on this Case Call (972) 771-7745

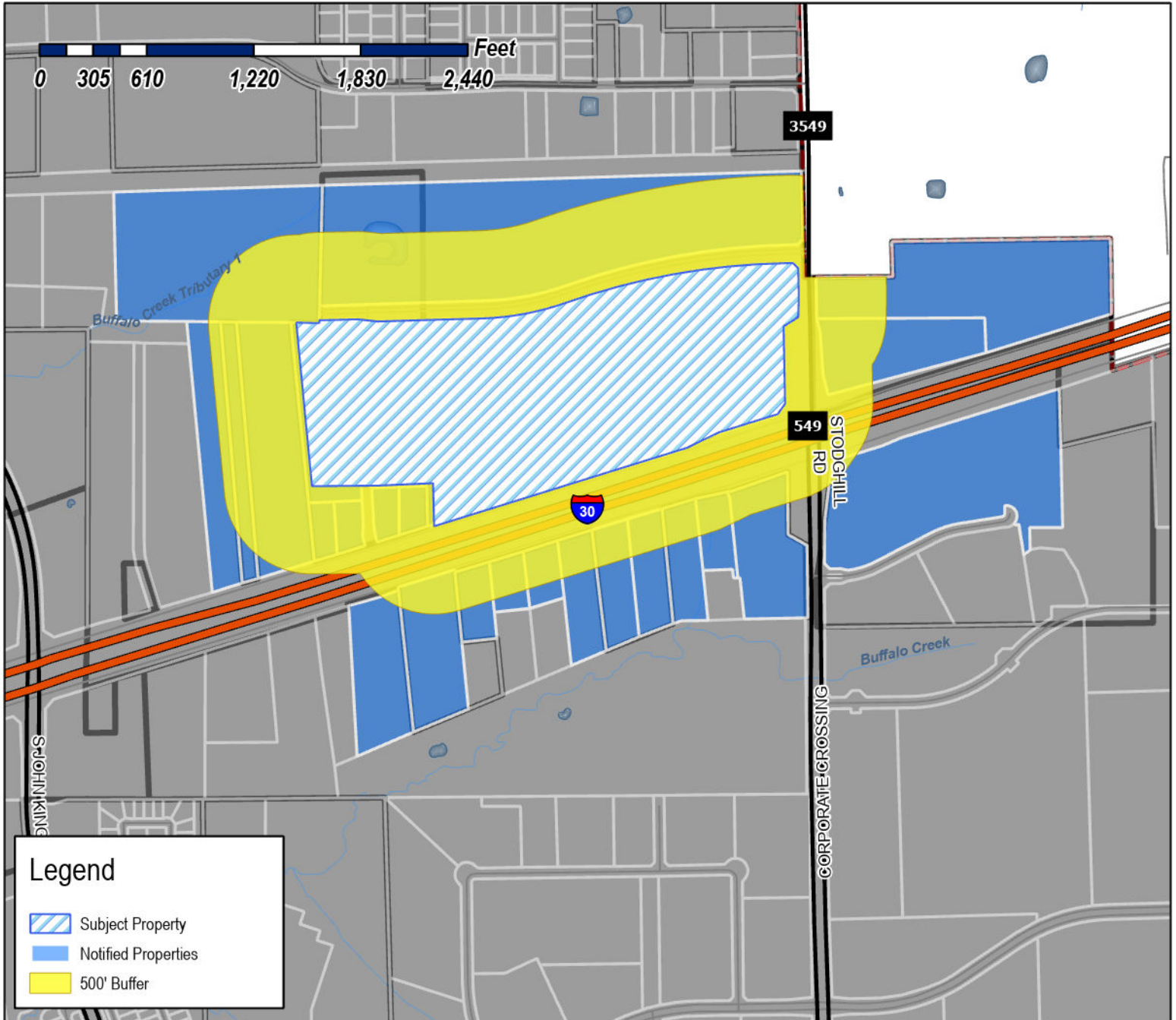




# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087  
(P): (972) 771-7745  
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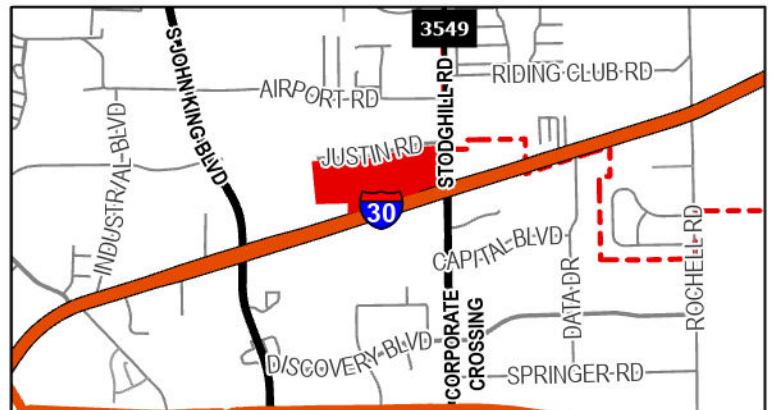
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**Case Address:** NEC of 3549 and E I-30

**Date Saved:** 8/16/2024

For Questions on this Case Call: (972) 771-7745



MYASIN INVESTMENTS LLC  
11243 SHADY TRL  
DALLAS, TX 75229

MHC I30 LP  
12001 N CENTRAL EXPRESSWAY SUITE 875  
DALLAS, TX 75243

LINE 5 HOLDINGS LP  
1201 N RIVERFRONT BLVD SUITE 100  
DALLAS, TX 75207

THE STATE OF TEXAS, BY AND THROUGH THE  
TEXAS TRANSPORTATION COMMISSION  
125 E 11TH STREET  
AUSTIN, TX 78701

RAFIZADEH M & M FAMILY LTD  
C/O REPUBLIC MOTORSPORTS INC  
12707 SOUTHWEST FREEWAY  
STAFFORD, TX 77477

PRITCHARD DONNA CULLINS &  
KIMBERLY CULLINS COLLICCHIO TRUSTEES  
1610 SHORES BLVD  
ROCKWALL, TX 75087

RESIDENT  
1785 E I30  
ROCKWALL, TX 75087

RESIDENT  
1790 E I30  
ROCKWALL, TX 75087

RESIDENT  
1795 I30  
ROCKWALL, TX 75087

RESIDENT  
1805 E I30  
ROCKWALL, TX 75087

RESIDENT  
1810 S I30  
ROCKWALL, TX 75087

RESIDENT  
1830 I30  
ROCKWALL, TX 75087

SELF SCOTT & JANET  
1830 E INTERSTATE 30 STE 100  
ROCKWALL, TX 75087

RESIDENT  
1850 I30  
ROCKWALL, TX 75087

GENESTA PARTNERSHIP  
1850 E INTERSTATE 30  
ROCKWALL, TX 75087

RESIDENT  
1860 E I30  
ROCKWALL, TX 75087

RESIDENT  
1880 I30 RD  
ROCKWALL, TX 75087

RESIDENT  
1900 E INTERSTATE 30  
ROCKWALL, TX 75087

RESIDENT  
1960 E I30  
ROCKWALL, TX 75087

RESIDENT  
1970 I30 SOUTH SERVICE RD  
ROCKWALL, TX 75087

RESIDENT  
1990 E I30  
ROCKWALL, TX 75087

STRUCTURED REA- ROCKWALL LAND LLC  
2801 E. CAMELBACK ROAD SUITE 200  
PHOENIX, AZ 85016

JAMES COLLIER PROPERTIES INC  
3333 MILLER PARK SOUTH  
GARLAND, TX 75042

SALEHOUN FAMILY LIMITED PARTNERSHIP  
39650 LYNDON B JOHNSON FWY  
DALLAS, TX 75237

MIDDLE BROOKS HOLDINGS LLC  
513 SAINT MARY ST  
ROCKWALL, TX 75087

MOORE MICHAEL F  
557 MARIAH BAY DR  
HEATH, TX 75032

MOORE MICHAEL F  
557 MARIAH BAY DR  
HEATH, TX 75032

CAVENDER INVESTMENT PROPERTIES E LTD  
7820 SOUTH BROADWAY  
TYLER, TX 75703

ROCKWALL 549/I30 PARTNERS LP  
8750 N CENTRAL EXPWY SUITE 1735  
DALLAS, TX 75231

CONVEYOR I30 PARTNERS LP  
8750 N CENTRAL EXPY SUITE 1735  
DALLAS, TX 75231

MIRANDA VINOD  
9105 BRIARCREST DR  
ROWLETT, TX 75088

LOVE'S COUNTRY STORES INC  
PO BOX 26210  
OKLAHOMA CITY, OK 73126

ROCKWALL AA RE LLC  
PO BOX 775  
ROYSE CITY, TX 75189

# PUBLIC NOTICE



CITY OF ROCKWALL  
PLANNING AND ZONING DEPARTMENT  
PHONE: (972) 771-7745  
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

## Z2024-035: Zoning Change from C to PD

Hold a public hearing to discuss and consider a request by William S. Dahlstrom of Jackson Walker, LLP on behalf of James J. Melino of Rockwall 549/I-30 Partners, LP and Conveyor 130 Partners, LP for the approval of a Zoning Change from a Commercial (C) District to a Planned Development District for Commercial (C) District land uses on a 67.475-acre tract of land identified as Lot 1, Block B; Lot 1R, Block C; and Lot 1, Block D, Rockwall Commercial Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the IH-30 Overlay (IH-30 OV) District, generally located at the northwest corner of Stodghill Road and the IH-30 Frontage Road, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, September 10, 2024 at 6:00 PM, and the City Council will hold a public hearing on Monday, September 16, 2024 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

**Ryan Miller**  
Rockwall Planning and Zoning Dept.  
385 S. Goliad Street  
Rockwall, TX 75087

You may also email your comments to the Planning Department at [planning@rockwall.com](mailto:planning@rockwall.com). If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, September 16, 2024 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

**Ryan Miller, AICP**  
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

--- PLEASE RETURN THE BELOW FORM ---

## Case No. Z2024-035: Zoning Change from C to PD

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

Four horizontal grey bars for providing reasons for support or opposition.

Name:

Address:

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

Case No. Z2024-035: Zoning Change from C to PD

Please place a check mark on the appropriate line below:

I am in favor of the request for the reasons listed below.

I am opposed to the request for the reasons listed below.

no objection

Name:

Dax of Rockwall (James A Dunning)

Address:

1810 E I 30

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

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# PUBLIC NOTICE



CITY OF ROCKWALL  
PLANNING AND ZONING DEPARTMENT  
PHONE: (972) 771-7745  
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

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Ryan Miller  
Rockwall Planning and Zoning Dept.  
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Sincerely,

Ryan Miller, AICP  
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

PLEASE RETURN THE BELOW FORM

### Case No. Z2024-035: Zoning Change from C to PD

Please place a check mark on the appropriate line below:

I am in favor of the request for the reasons listed below.

I am opposed to the request for the reasons listed below.

Row Benlin  
1201 N. Rivenfrost Blvd  
Dallas, TX 75229  
214-876-7459

We need more Retail & Multi-Family  
in this area. More sales property  
Tax Revenue  
Ronald P. Benlin

Name: RONALD P. BENLIN Manager hives 5 Holdings  
Address: OWNER OF 1780 I-30 SERVICE KING

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

William S. Dahlstrom  
(214) 953-5932 (Direct Dial)  
(214) 661-6616 (Direct Fax)  
[wdahlstrom@jw.com](mailto:wdahlstrom@jw.com)

August 9, 2024

Mr. Ryan Miller, AICP  
Director of Planning  
City of Rockwall  
385 South Goliad  
Rockwall, Texas 75087

***Re: Letter of Explanation – Application for Zoning Change and Abandonment of Portion of Conveyor Street – Property Located Near the Northwest Corner of FM 3549 and East Interstate 30.***

Dear Mr. Miller:

This request is submitted on behalf of Property Owners, Conveyor I-30 Partners LP and Rockwall 549/I-30 Partners LP, whose contact information is as follows:

**Property Owner:**

Address: 8750 N Central Expressway, Suite 1735, Dallas, TX 75231

Email: [ron@berlininterests.com](mailto:ron@berlininterests.com)

Phone: (214) 691-2556

We are submitting this request for a zoning change application for a property located near the northwest corner of FM 3549 and East Interstate 30, consisting of approximately 67.475 acres of land (the “Property”). This request is to change the Property’s zoning from Commercial (C) to a Planned Development (PD) Zoning District.

Enclosed with this request letter please find:

1. A Development Application;
2. Two (2) Letters of Authorization on behalf of the Property Owners;
3. Proposed Planned Development Standards;
4. Planned Development Exhibits;
5. Planned Development Composite Concept/Development Plan Informational Statement;



Mr. Ryan Miller, AICP

August 9, 2024

Page 2

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6. A Metes and Bounds Legal Description of Property with Survey Drawings;
7. Letter of Request for Abandonment of Public Right-of-Way;
8. Legal Description and Survey Drawing of Area of Request for Abandonment; and
9. A check made payable to the City of Rockwall for Development Application Fee.

Thank you again for your time and consideration in reviewing this application, and please let me know if you have any questions.

Sincerely,

*William S. Dahlstrom*

William S. Dahlstrom

William S. Dahlstrom  
(214) 953-5932 (Direct Dial)  
(214) 661-6616 (Direct Fax)  
[wdahlstrom@jw.com](mailto:wdahlstrom@jw.com)

August 9, 2024

Mr. Ryan Miller, AICP  
Director of Planning  
City of Rockwall  
385 South Goliad  
Rockwall, Texas 75087

**Re: *Letter of Request for Partial Abandonment of Conveyor Street – Property Located Near the Northwest Corner of FM 3549 and East Interstate 30.***

Dear Mr. Miller:

This request is submitted on behalf of Property Owners, Conveyor I-30 Partners LP and Rockwall 549/I-30 Partners LP, whose contact information is as follows:

**Property Owners:**

Address: 8750 N Central Expressway, Suite 1735, Dallas, TX 75231

Email: [ron@berlininterests.com](mailto:ron@berlininterests.com)

Phone: (214) 691-2556

We are submitting this request for a partial abandonment of Conveyor Street located near the northwest corner of FM 3549 and East Interstate 30, consisting of approximately 1.451 acres of land (the “Abandonment Area”).

Thank you again for your time and consideration in reviewing this application, and please let me know if you have any questions.

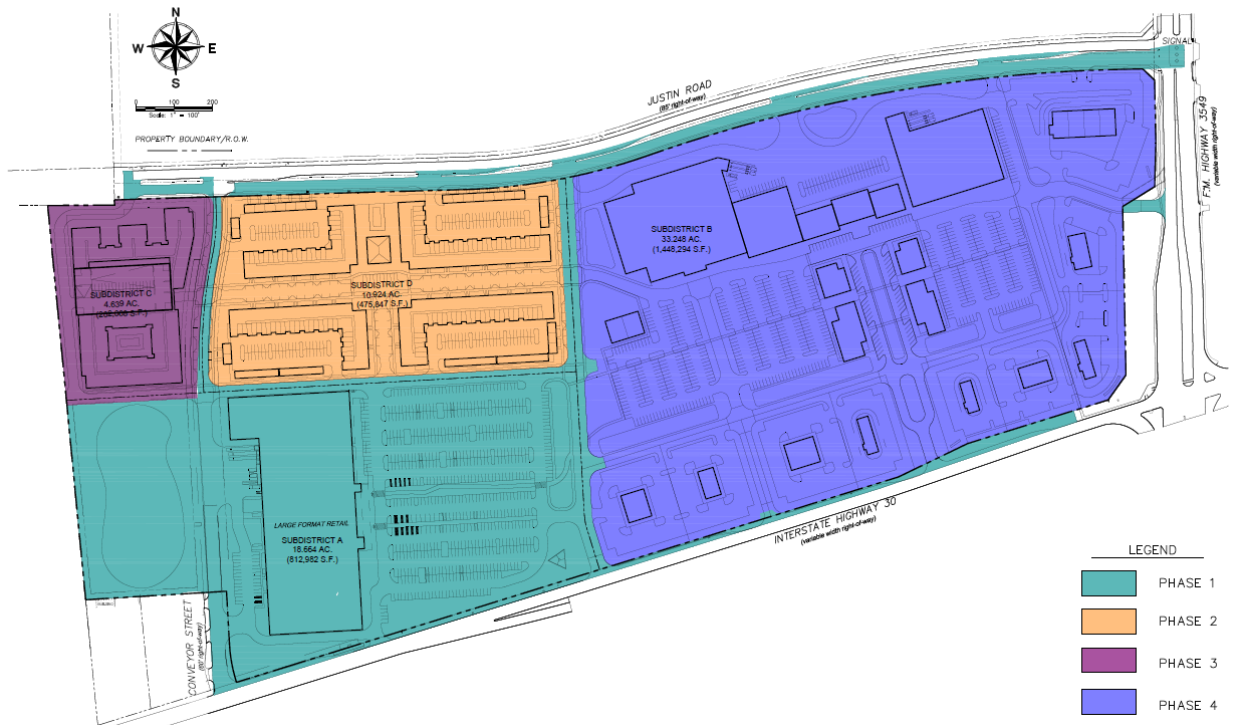
Sincerely,

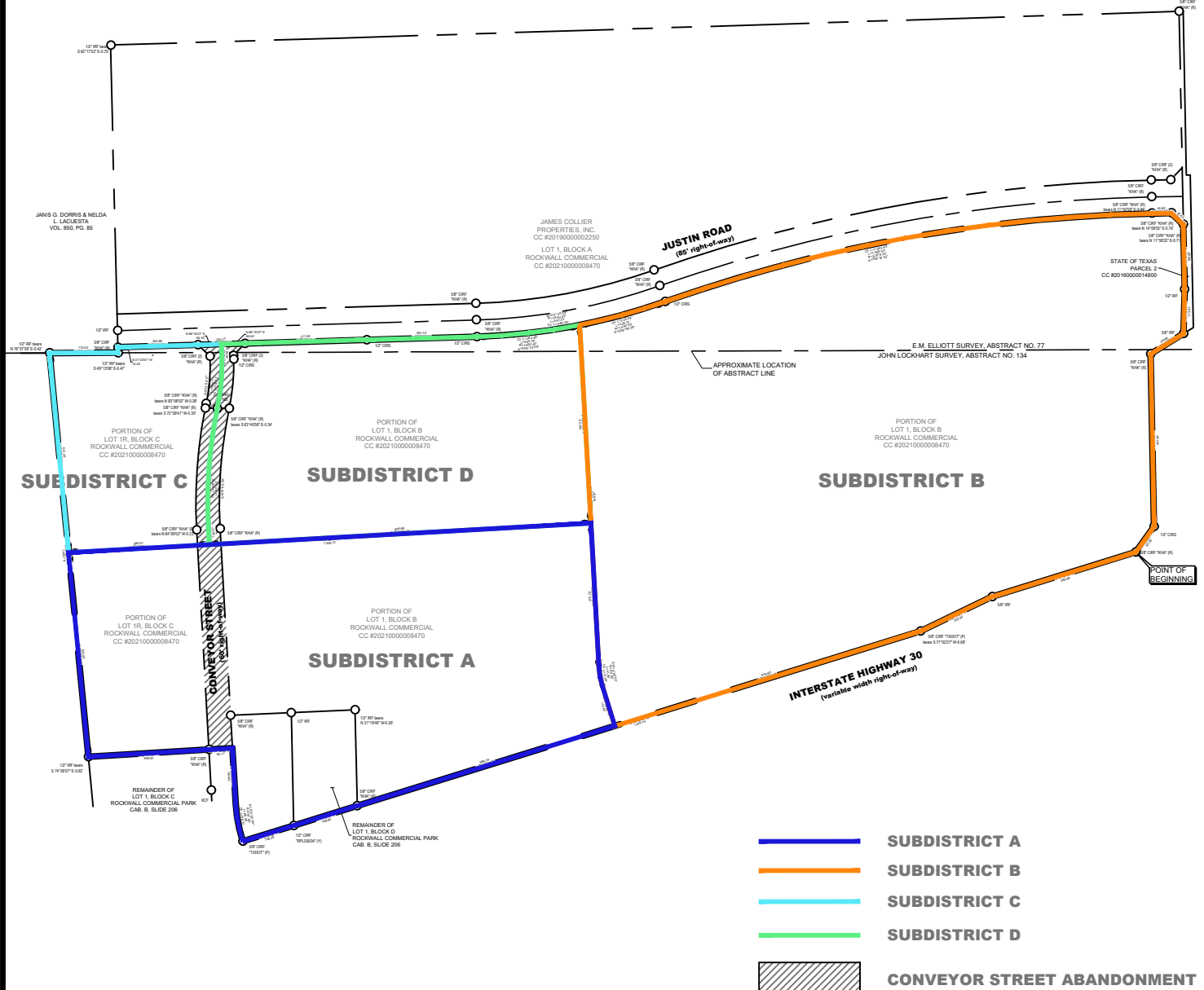
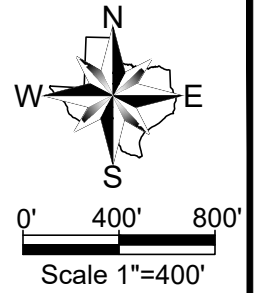
*William S. Dahlstrom*

William S. Dahlstrom

## PLANNED DEVELOPMENT CONCEPT/DEVELOPMENT PLAN INFORMATIONAL STATEMENT

The proposed Planned Development District will feature a prominent regional commercial, retail, entertainment, and residential development, consisting of approximately 67.475 acres, which aligns with the City of Rockwall’s *OURHometown 2040 Vision Comprehensive Plan* (the “Comprehensive Plan”). The Comprehensive Plan identifies this area as an Opportunity Zone within the IH-30 Corridor District, which is a primary retail corridor. Also being within the Strategically Located Property #4 of the IH-30 Corridor District, the Comprehensive Plan notes that “this property is in an ideal location for a large commercial/retail development/regional center.” The proposed development will also include a limited residential use, aligning with the Comprehensive Plan’s description of Special Commercial Corridor which includes Residential as an appropriate secondary use and encompasses this area. The residential component will establish an active and vibrant mixed-use environment consisting of approximately 15.563 acres. The proposed development will occur in multiple phases, with construction of the first phase of development (identified as “Subdistrict A” on the Composite Concept/Development Plan) anticipated to begin in late 2024 or early 2025. The second, third, and fourth phases of development (identified as “Subdistrict D”, “Subdistrict C”, and “Subdistrict B”, respectively, on the Composite Concept/Development Plan) is anticipated to be developed over the next five (5) years, with the entire development estimated to be complete in 2030. Major capital improvements are anticipated to commence construction in late 2024 or early 2025, which will serve each phase of the development. Included below is the PD Composite Concept/Development Plan, overlaid with the proposed Phasing Plan.





- SUBDISTRICT A
- SUBDISTRICT B
- SUBDISTRICT C
- SUBDISTRICT D
- CONVEYOR STREET ABANDONMENT

**Winkelmann & Associates, Inc.**  
 CONSULTING CIVIL ENGINEERS ■ SURVEYORS  
 6750 HILLCREST PLAZA DRIVE, SUITE 215 (972) 490-7090  
 DALLAS, TEXAS 75230 (972) 490-7099 FAX  
 Texas Engineers Registration No. 89  
 Texas Surveyors No. 10086600 Expires 12-31-2024  
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Scale : 1:400  
 Date : 08.14.24  
 Dwg. File : 63406-Exhibit B  
 Project No. : 63406

**EXHIBIT B**  
**SURVEY**

**PROPERTY BOUNDARY**  
**67.475 ACRES**  
**(2,939,199 SQ. FT.)**

**SHEET**  
**1**  
**OF**  
**1**

**EXHIBIT A-1  
COMPOSITE LEGAL DESCRIPTION**

**STATE OF TEXAS                   §  
COUNTY OF ROCKWALL       §**

BEING a tract of land situated in the E.M. ELLIOTT SURVEY, ABSTRACT NO. 77 and the JOHN LOCKHART SURVEY, ABSTRACT NO. 134, City of Rockwall, Rockwall County, Texas and being all of Lot 1, Block B, Rockwall Commercial, an addition to the City of Rockwall, Rockwall County, Texas, according to the plat thereof recorded in County Clerk's File No. 20210000008470, Plat Records, Rockwall County, Texas (P.R.R.C.T.), a portion of Lot 1R, Block C, Rockwall Commercial, an addition to the City of Rockwall, Rockwall County, Texas, according to the plat thereof recorded in County Clerk's File No. 20210000008470, P.R.R.C.T., and the remainder of Lot 1, Block D, Rockwall Commercial Park, an addition to the City of Rockwall, Rockwall County, Texas, according to the plat thereof recorded in Cabinet B, Slide 206, P.R.R.C.T., and a portion of Conveyors Street, a 60' right-of-way, and being more particularly described as follows:

BEGINNING at a 5/8-inch iron rod with red plastic cap stamped "KHA" found for the most Southerly Southeast corner of said Lot 1, Block B, said iron rod being situated in the North right-of-way line of Interstate Highway 30, a variable width right-of-way, and the West right-of-way line of F.M. Highway 3549, a variable width right-of-way, and also being the Southeast corner of a corner clip;

THENCE, departing the West right-of way line of said F.M. Highway 3549 and said corner clip, and along the South line of said Lot 1, Block B, and the North right-of-way line of said Interstate Highway 30, the following:

South 72 deg 46 min 18 sec West, a distance of 384.46 feet to a 5/8" iron rod found for corner;

South 64 deg 14 min 27 sec West, a distance of 202.24 feet to a point for corner from which a 5/8-inch iron rod with pink plastic cap stamped "TXDOT" found bears South 77 deg 02 min 27 sec West, a distance of 0.68 feet;

South 72 deg 46 min 18 sec West, a distance of 1,507.74 feet to a 5/8-inch iron rod with red plastic cap stamped "KHA" found for the most Southerly Southwest corner of said Lot 1, Block B, and the Southeast corner of the remainder of said Lot 1, Block D;

THENCE South 72 deg 43 min 43 sec West, along the South line of the remainder of said Lot 1, Block D, and continuing along the North right-of-way line of said Interstate Highway 30, a distance of 169.80 feet to a 1/2-inch iron rod with yellow plastic cap stamped "RPLS5034" found for corner;

THENCE South 72 deg 46 min 08 sec West, continuing along the South line of the remainder of said Lot 1, Block D, and the North right-of-way line of said Interstate Highway 30, a distance of 136.39 feet to a 5/8-inch iron rod with pink plastic cap stamped "TXDOT" found for corner, said iron rod being the Southwest corner of the remainder of said Lot 1, Block D, and being the beginning of a non-tangent curve to the right having a radius of 397.84 feet, a central angle of 13 deg 52 min 54 sec, a chord bearing of North 10 deg 51 min 14 sec West, and a chord length of 96.15 feet;

THENCE along said non-tangent curve to the right, departing the South line of the remainder of said Lot 1, Block D, and the North right-of-way line of said Interstate Highway 30, and along the West line of the remainder of said Lot 1, Block D, and the East right-of-way line of said Conveyors Street, an arc distance of 96.39 feet to a point for corner;

THENCE North 03 deg 13 min 23 sec West, continuing along the West line of the remainder of said Lot 1, Block D, and the East right-of-way line of said Conveyors Street, a distance of 144.04 feet to a point for corner;

THENCE South 86 deg 34 min 32 sec West, departing the West line of the remainder of said Lot 1, Block D, and the East right-of-way line of said Conveyors Street, and crossing the right-of-way of said Conveyors Street, a distance of 60.17 feet to a 5/8-inch iron rod with red plastic cap stamped "KHA" found for corner, said iron rod being the Southeast corner of said Lot 1R, Block C, and being situated in the West right-of-way line of said Conveyors Street;

THENCE South 86 deg 34 min 32 sec West, departing the West right-of-way line of said Conveyors Street, and along the common line of said Lot 1R, Block C, and Lot 1, Block C, of said Rockwall Commercial Park, a distance of 309.03 feet to a point for corner from which a 1/2-inch iron rod found bears South 74 deg 26 min 07 sec East, a distance of 0.62 feet;

THENCE North 05 deg 29 min 52 sec West, departing said common line and along the common line of said Lot 1R, Block C, and a tract of land described in deed to Rockwall 549/I-30 Partners LP, recorded in Instrument Number 200700387631, Official Public Records, Rockwall County, Texas (O.P.R.R.C.T.), a distance of 1,036.76 feet to a point for corner from which a 1/2-inch iron rod found bears North 78 deg 37 min 38 sec East, a distance of 0.42 feet;

THENCE North 89 deg 44 min 47 sec East, along the common line of said Lot 1R, Block C, and a tract of land as described in deed to Janis G. Dorris & Nelda L. Lacuesta, recorded in Volume 850, Page 85, O.P.R.R.C.T., a distance of 175.03 feet to a point for corner from which a 1/2-inch iron rod found bears South 49 deg 13 min 08 sec East, a distance of 0.47 feet;

THENCE North 01 deg 22 min 01 sec West, continuing along said common line, a distance of 14.02 feet to a 5/8-inch iron rod with red plastic cap stamped "KHA" found

for a Northeast corner of said Lot 1R, Block C, and a Southeast corner of said Janis G. Dorris & Nelda L. Lacuesta tract;

THENCE North 88 deg 16 min 40 sec East, departing said common line and along the North line of said Lot 1R, Block C, and the South right-of-way line of Justin Road, an 85-foot right-of-way, a distance of 204.88 feet to a 5/8-inch iron rod with red plastic cap stamped "KHA" found for the most Northerly corner of said Lot 1R, Block C;

THENCE North 88 deg 16 min 27 sec East, departing the North line of said Lot 1R, Block C, and over and across the right-of-way of said Justin Road and said Conveyors Street, a distance of 120.17 feet to a 5/8-inch iron rod with red plastic cap stamped "KHA" found for a Northwest corner of said Lot 1, Block B;

THENCE along the North line of said Lot 1, Block B, and the South right-of-way line of said Justin Road, the following:

North 88 deg 16 min 40 sec East, a distance of 311.50 feet to a 1/2-inch iron rod with red plastic cap stamped "W.A.I. 5714" set for corner;

North 88 deg 25 min 20 sec East, a distance of 281.12 feet to a 1/2-inch iron rod with red plastic cap stamped "W.A.I. 5714" set for corner and being the beginning of a curve to the left having a radius of 1,592.50 feet, a central angle of 17 deg 40 min 38 sec, a chord bearing of North 79 deg 26 min 21 sec East, and a chord length of 489.38 feet;

Along said curve to the left, an arc distance of 491.33 feet to a 1/2-inch iron rod with red plastic cap stamped "W.A.I. 5714" set for corner and being the beginning of a curve to the right having a radius of 3,979.40 feet, a central angle of 18 deg 16 min 32 sec, a chord bearing of North 79 deg 44 min 18 sec East, and a chord length of 1,263.93 feet;

Along said curve to the right, an arc distance of 1,269.30 feet to a point for corner from which a 5/8-inch iron rod with red plastic cap stamped "KHA" found bears North 11 deg 52 min 09 sec East, a distance of 0.84 feet;

North 88 deg 52 min 34 sec East, a distance of 49.83 feet to a point for corner from which a 5/8-inch iron rod with red plastic cap stamped "KHA" found bears North 14 deg 09 min 55 sec East, a distance of 0.76 feet, said point being the most Northerly Northeast corner of said Lot 1, Block B, and the Northeast corner of a corner clip, and being situated in the West right-of-way line of said F.M. Highway 3549;

THENCE South 46 deg 07 min 44 sec East, continuing along the North line of said Lot 1, Block B, and the South right-of-way line of said Justin Road, and along the West right-of-way line of said F.M. Highway 3549, and said corner clip, a distance of 42.43 feet to a point for corner from which a 5/8-inch iron rod with red plastic cap stamped "KHA" found bears North 11 deg 58 min 22 sec East, a distance of 0.71 feet, said point being a North corner of said Lot 1, Block B, and the Southeast corner of said corner clip;

THENCE, departing the South right-of-way line of said Justin Road, the North line of said Lot 1, Block B, and said corner clip, continuing along the West right-of-way line of said F.M. Highway 3549 and along the East line of said Lot 1, Block B, the following:

South 01 deg 13 min 54 sec East, a distance of 165.08 feet to a 1/2-inch iron rod found for corner;

South 01 deg 26 min 27 sec West, a distance of 113.61 feet to a 5/8-inch iron rod found for corner;

South 58 deg 12 min 56 sec West, a distance of 98.69 feet to a 5/8-inch iron rod with red plastic cap stamped "KHA" found for corner;

South 01 deg 07 min 09 sec East, a distance of 441.34 feet to a 1/2-inch iron rod with red plastic cap stamped "W.A.I. 5714" for corner, said iron rod being situated in the North right-of-way line of said Interstate Highway 30, and being the Northeast corner of a corner clip;

THENCE South 35 deg 33 min 35 sec West, continuing along the West right-of-way line of said F.M. Highway 3549, and along said corner clip, a distance of 80.25 feet to the POINT OF BEGINNING.

CONTAINING 67.475 acres or 2,939,199 square feet of land, more or less.

Bearings described herein are based upon an on-the-ground Survey performed in the field on the 25th day of April, 2024, utilizing a G.P.S. bearing related to the Texas Coordinate System, North Texas Central Zone (4202), NAD 83, grid values from the GeoShack VRS network.



**EXHIBIT A-2**  
**SUBDISTRICT A LEGAL DESCRIPTION**

**STATE OF TEXAS**                   §  
**COUNTY OF ROCKWALL**       §

BEING a tract of land situated in the JOHN LOCKHART SURVEY, ABSTRACT NO. 134, City of Rockwall, Rockwall County, Texas and being a portion of Lot 1, Block B, Rockwall Commercial, an addition to the City of Rockwall, Rockwall County, Texas, according to the plat thereof recorded in County Clerk's File No. 2021000008470, Plat Records, Rockwall County, Texas (P.R.R.C.T.), a portion of Lot 1R, Block C, Rockwall Commercial, an addition to the City of Rockwall, Rockwall County, Texas, according to the plat thereof recorded in County Clerk's File No. 2021000008470, P.R.R.C.T., and the remainder of Lot 1, Block D, Rockwall Commercial Park, an addition to the City of Rockwall, Rockwall County, Texas, according to the plat thereof recorded in Cabinet B, Slide 206, P.R.R.C.T., and a portion of Conveyors Street, a 60' right-of-way, and being more particularly described as follows:

COMMENCING at a 5/8-inch iron rod with red plastic cap stamped "KHA" found for the most Southerly Southeast corner of said Lot 1, Block B, said iron rod being situated in the North right-of-way line of Interstate Highway 30, a variable width right-of-way, and the West right-of-way line of F.M. Highway 3549, a variable width right-of-way, and also being the Southeast corner of a corner clip;

THENCE, departing the West right-of way line of said F.M. Highway 3549 and said corner clip, and along the South line of said Lot 1, Block B, and the North right-of-way line of said Interstate Highway 30, the following:

South 72 deg 46 min 18 sec West, a distance of 384.46 feet to a 5/8" iron rod found;

South 64 deg 14 min 27 sec West, a distance of 202.24 feet to a point from which a 5/8-inch iron rod with pink plastic cap stamped "TXDOT" found bears South 77 deg 02 min 27 sec West, a distance of 0.68 feet;

South 72 deg 46 min 18 sec West, a distance of 818.60 feet to a point for corner, said point being the POINT OF BEGINNING;

South 72 deg 46 min 18 sec West, a distance of 689.14 feet to a 5/8-inch iron rod with red plastic cap stamped "KHA" found for the most Southerly Southwest corner of said Lot 1, Block B, and the Southeast corner of the remainder of said Lot 1, Block D;

THENCE South 72 deg 43 min 43 sec West, along the South line of the remainder of said Lot 1, Block D, and continuing along the North right-of-way line of said Interstate Highway 30, a distance of 169.80 feet to a 1/2-inch iron rod with yellow plastic cap stamped "RPLS5034" found for corner;

THENCE South 72 deg 46 min 08 sec West, continuing along the South line of the remainder of said Lot 1, Block D, and the North right-of-way line of said Interstate Highway 30, a distance of 136.39 feet to a 5/8-inch iron rod with pink plastic cap stamped "TXDOT" found for corner, said iron rod being the Southwest corner of the remainder of said Lot 1, Block D, and being the beginning of a non-tangent curve to the right having a radius of 397.84 feet, a central angle of 13 deg 52 min 54 sec, a chord bearing of North 10 deg 51 min 14 sec West, and a chord length of 96.15 feet;

THENCE along said non-tangent curve to the right, departing the South line of the remainder of said Lot 1, Block D, and the North right-of-way line of said Interstate Highway 30, and along the West line of the remainder of said Lot 1, Block D, and the East right-of-way line of said Conveyors Street, an arc distance of 96.39 feet to a point for corner;

THENCE North 03 deg 13 min 23 sec West, continuing along the West line of the remainder of said Lot 1, Block D, and the East right-of-way line of said Conveyors Street, a distance of 144.04 feet to a point for corner;

THENCE South 86 deg 34 min 32 sec West, departing the West line of the remainder of said Lot 1, Block D, and the East right-of-way line of said Conveyors Street, and crossing the right-of-way of said Conveyors Street, a distance of 60.17 feet to a 5/8-inch iron rod with red plastic cap stamped "KHA" found for corner, said iron rod being the Southeast corner of said Lot 1R, Block C, and being situated in the West right-of-way line of said Conveyors Street;

THENCE South 86 deg 34 min 32 sec West, departing the West right-of-way line of said Conveyors Street, and along the common line of said Lot 1R, Block C, and Lot 1, Block C, of said Rockwall Commercial Park, a distance of 309.03 feet to a point for corner from which a 1/2-inch iron rod found bears South 74 deg 26 min 07 sec East, a distance of 0.62 feet;

THENCE North 05 deg 29 min 52 sec West, departing said common line and along the common line of said Lot 1R, Block C, and a tract of land described in deed to Rockwall 549/I-30 Partners LP, recorded in Instrument Number 200700387631, Official Public Records, Rockwall County, Texas (O.P.R.R.C.T.), a distance of 524.43 feet to a point for corner;

THENCE departing said common line and over and across said Lot 1R, Block C, and said Lot 1, Block B, the following:

North 86 deg 46 min 37 sec East, a distance of 1,336.70 feet to a point for corner;

South 03 deg 13 min 23 sec East, a distance of 372.72 feet to a point for corner and being the beginning of a curve to the left having a radius of 170.00 feet, a central angle of 14 deg 00 min 30 sec, a chord bearing of South 10 deg 13 min 37 sec East, and a chord length of 41.46 feet;

Along said curve to the left, an arc distance of 41.56 feet to a point for corner;  
South 17 deg 13 min 42 sec East, a distance of 110.45 feet to the POINT OF  
BEGINNING.

CONTAINING 18.664 acres or 812,982 square feet of land, more or less.

Bearings described herein are based upon an on-the-ground Survey performed in the field on the 25th day of April, 2024, utilizing a G.P.S. bearing related to the Texas Coordinate System, North Texas Central Zone (4202), NAD 83, grid values from the GeoShack VRS network.

**EXHIBIT A-3  
SUBDISTRICT B LEGAL DESCRIPTION**

**STATE OF TEXAS                   §  
COUNTY OF ROCKWALL       §**

BEING a tract of land situated in the E.M. ELLIOTT SURVEY, ABSTRACT NO. 77 and the JOHN LOCKHART SURVEY, ABSTRACT NO. 134, City of Rockwall, Rockwall County, Texas and being a portion of Lot 1, Block B, Rockwall Commercial, an addition to the City of Rockwall, Rockwall County, Texas, according to the plat thereof recorded in County Clerk's File No. 20210000008470, Plat Records, Rockwall County, Texas (P.R.R.C.T.), and being more particularly described as follows:

BEGINNING at a 5/8-inch iron rod with red plastic cap stamped "KHA" found for the most Southerly Southeast corner of said Lot 1, Block B, said iron rod being situated in the North right-of-way line of Interstate Highway 30, a variable width right-of-way, and the West right-of-way line of F.M. Highway 3549, a variable width right-of-way, and also being the Southeast corner of a corner clip;

THENCE, departing the West right-of way line of said F.M. Highway 3549 and said corner clip, and along the South line of said Lot 1, Block B, and the North right-of-way line of said Interstate Highway 30, the following:

South 72 deg 46 min 18 sec West, a distance of 384.46 feet to a 5/8" iron rod found for corner;

South 64 deg 14 min 27 sec West, a distance of 202.24 feet to a point for corner from which a 5/8-inch iron rod with pink plastic cap stamped "TXDOT" found bears South 77 deg 02 min 27 sec West, a distance of 0.68 feet;

South 72 deg 46 min 18 sec West, a distance of 818.60 feet to a point for corner;

THENCE departing the North right-of-way line of said Interstate Highway 30, and the South line of said Lot 1, Block B, and over and across said Lot 1, Block B, the following:

North 17 deg 13 min 42 sec West, a distance of 110.45 feet to a point for corner, and being the beginning of a curve to the right having a radius of 170.00 feet, a central angle of 14 deg 00 min 30 sec, a chord bearing of North 10 deg 13 min 37 sec West, and a chord length of 41.46 feet;

Along said curve to the right, an arc distance of 41.56 feet to a point for corner;

North 03 deg 13 min 23 sec West, a distance of 879.97 feet to a point for corner, said point being situated in the North line of said Lot 1, Block B, and the South right-of-way line of Justin Road, an 85-foot right-of-way, said point being the beginning of a curve to the left having a radius of 1,592.50 feet, a central angle of 08 deg 08 min 09 sec, a chord bearing of North 74 deg 40 min 07 sec East, and a chord length of 225.94 feet;

THENCE along the North line of said Lot 1, Block B, and the South right-of-way line of said Justin Road, the following:

Along said curve to the left, an arc distance of 226.13 feet to a 1/2-inch iron rod with red plastic cap stamped "W.A.I. 5714" set for corner and being the beginning of a curve to the right having a radius of 3,979.40 feet, a central angle of 18 deg 16 min 32 sec, a chord bearing of North 79 deg 44 min 18 sec East, and a chord length of 1,263.93 feet;

Along said curve to the right, an arc distance of 1,269.30 feet to a point for corner from which a 5/8-inch iron rod with red plastic cap stamped "KHA" found bears North 11 deg 52 min 09 sec East, a distance of 0.84 feet;

North 88 deg 52 min 34 sec East, a distance of 49.83 feet to a point for corner from which a 5/8-inch iron rod with red plastic cap stamped "KHA" found bears North 14 deg 09 min 55 sec East, a distance of 0.76 feet, said point being the most Northerly Northeast corner of said Lot 1, Block B, and the Northeast corner of a corner clip, and being situated in the West right-of-way line of said F.M. Highway 3549;

THENCE South 46 deg 07 min 44 sec East, continuing along the North line of said Lot 1, Block B, and the South right-of-way line of said Justin Road, and along the West right-of-way line of said F.M. Highway 3549, and said corner clip, a distance of 42.43 feet to a point for corner from which a 5/8-inch iron rod with red plastic cap stamped "KHA" found bears North 11 deg 58 min 22 sec East, a distance of 0.71 feet, said point being a North corner of said Lot 1, Block B, and the Southeast corner of said corner clip;

THENCE, departing the South right-of-way line of said Justin Road, the North line of said Lot 1, Block B, and said corner clip, continuing along the West right-of-way line of said F.M. Highway 3549 and along the East line of said Lot 1, Block B, the following:

South 01 deg 13 min 54 sec East, a distance of 165.08 feet to a 1/2-inch iron rod found for corner;

South 01 deg 26 min 27 sec West, a distance of 113.61 feet to a 5/8-inch iron rod found for corner;

South 58 deg 12 min 56 sec West, a distance of 98.69 feet to a 5/8-inch iron rod with red plastic cap stamped "KHA" found for corner;

South 01 deg 07 min 09 sec East, a distance of 441.34 feet to a 1/2-inch iron rod with red plastic cap stamped "W.A.I. 5714" for corner, said iron rod being situated in the North right-of-way line of said Interstate Highway 30, and being the Northeast corner of a corner clip;

THENCE South 35 deg 33 min 35 sec West, continuing along the West right-of-way line of said F.M. Highway 3549, and along said corner clip, a distance of 80.25 feet to the POINT OF BEGINNING.

CONTAINING 33.248 acres or 1,448,294 square feet of land, more or less.

Bearings described herein are based upon an on-the-ground Survey performed in the field on the 25th day of April, 2024, utilizing a G.P.S. bearing related to the Texas Coordinate System, North Texas Central Zone (4202), NAD 83, grid values from the GeoShack VRS network.

**EXHIBIT A-4**  
**SUBDISTRICT C LEGAL DESCRIPTION**

**STATE OF TEXAS**                   §  
**COUNTY OF ROCKWALL**       §

BEING a tract of land situated in the E.M. ELLIOTT SURVEY, ABSTRACT NO. 77 and the JOHN LOCKHART SURVEY, ABSTRACT NO. 134, City of Rockwall, Rockwall County, Texas and being a portion of Lot 1R, Block C, Rockwall Commercial, an addition to the City of Rockwall, Rockwall County, Texas, according to the plat thereof recorded in County Clerk's File No. 2021000008470, Plat Records, Rockwall County, Texas (P.R.R.C.T.), and a portion of Conveyors Street, a 60' right-of-way, and being more particularly described as follows:

COMMENCING at a 5/8-inch iron rod with red plastic cap stamped "KHA" found for the most Southerly Southeast corner of said Lot 1, Block B, said iron rod being situated in the North right-of-way line of Interstate Highway 30, a variable width right-of-way, and the West right-of-way line of F.M. Highway 3549, a variable width right-of-way, and also being the Southeast corner of a corner clip;

THENCE, departing the West right-of way line of said F.M. Highway 3549 and said corner clip, and along the South line of said Lot 1, Block B, and the North right-of-way line of said Interstate Highway 30, the following:

South 72 deg 46 min 18 sec West, a distance of 384.46 feet to a 5/8" iron rod found;

South 64 deg 14 min 27 sec West, a distance of 202.24 feet to a point from which a 5/8-inch iron rod with pink plastic cap stamped "TXDOT" found bears South 77 deg 02 min 27 sec West, a distance of 0.68 feet;

South 72 deg 46 min 18 sec West, a distance of 1,507.74 feet to a 5/8-inch iron rod with red plastic cap stamped "KHA" found for the most Southerly Southwest corner of said Lot 1, Block B, and the Southeast corner of the remainder of said Lot 1, Block D;

THENCE South 72 deg 43 min 43 sec West, along the South line of the remainder of said Lot 1, Block D, and continuing along the North right-of-way line of said Interstate Highway 30, a distance of 169.80 feet to a 1/2-inch iron rod with yellow plastic cap stamped "RPLS5034" found;

THENCE South 72 deg 46 min 08 sec West, continuing along the South line of the remainder of said Lot 1, Block D, and the North right-of-way line of said Interstate Highway 30, a distance of 136.39 feet to a 5/8-inch iron rod with pink plastic cap stamped "TXDOT" found, said iron rod being the Southwest corner of the remainder of said Lot 1, Block D, and being the beginning of a non-tangent curve to the right having a

radius of 397.84 feet, a central angle of 13 deg 52 min 54 sec, a chord bearing of North 10 deg 51 min 14 sec West, and a chord length of 96.15 feet;

THENCE along said non-tangent curve to the right, departing the South line of the remainder of said Lot 1, Block D, and the North right-of-way line of said Interstate Highway 30, and along the West line of the remainder of said Lot 1, Block D, and the East right-of-way line of said Conveyors Street, an arc distance of 96.39 feet to a point;

THENCE North 03 deg 13 min 23 sec West, continuing along the West line of the remainder of said Lot 1, Block D, and the East right-of-way line of said Conveyors Street, a distance of 144.04 feet to a point;

THENCE South 86 deg 34 min 32 sec West, departing the West line of the remainder of said Lot 1, Block D, and the East right-of-way line of said Conveyors Street, and crossing the right-of-way of said Conveyors Street, a distance of 60.17 feet to a 5/8-inch iron rod with red plastic cap stamped "KHA" found, said iron rod being the Southeast corner of said Lot 1R, Block C, and being situated in the West right-of-way line of said Conveyors Street;

THENCE South 86 deg 34 min 32 sec West, departing the West right-of-way line of said Conveyors Street, and along the common line of said Lot 1R, Block C, and Lot 1, Block C, of said Rockwall Commercial Park, a distance of 309.03 feet to a point from which a 1/2-inch iron rod found bears South 74 deg 26 min 07 sec East, a distance of 0.62 feet;

THENCE North 05 deg 29 min 52 sec West, departing said common line and along the common line of said Lot 1R, Block C, and a tract of land described in deed to Rockwall 549/I-30 Partners LP, recorded in Instrument Number 200700387631, Official Public Records, Rockwall County, Texas (O.P.R.R.C.T.), a distance of 524.43 feet to a point for corner, said point being the POINT OF BEGINNING;

THENCE North 05 deg 29 min 52 sec West, continuing along the common line of said Lot 1R, Block C, and said Rockwall 549/I-30 Partners LP tract, a distance of 512.33 feet to a point for corner from which a 1/2-inch iron rod found bears North 78 deg 37 min 38 sec East, a distance of 0.42 feet;

THENCE North 89 deg 44 min 47 sec East, along the common line of said Lot 1R, Block C, and a tract of land as described in deed to Janis G. Dorris & Nelda L. Lacuesta, recorded in Volume 850, Page 85, O.P.R.R.C.T., a distance of 175.03 feet to a point for corner from which a 1/2-inch iron rod found bears South 49 deg 13 min 08 sec East, a distance of 0.47 feet;

THENCE North 01 deg 22 min 01 sec West, continuing along said common line, a distance of 14.02 feet to a 5/8-inch iron rod with red plastic cap stamped "KHA" found for a Northeast corner of said Lot 1R, Block C, and a Southeast corner of said Janis G. Dorris & Nelda L. Lacuesta tract;

THENCE North 88 deg 16 min 40 sec East, departing said common line and along the North line of said Lot 1R, Block C, and the South right-of-way line of Justin Road, an 85-



foot right-of-way, a distance of 204.88 feet to a 5/8-inch iron rod with red plastic cap stamped "KHA" found for the most Northerly corner of said Lot 1R, Block C;

THENCE North 88 deg 16 min 27 sec East, departing the North line of said Lot 1R, Block C, and over and across the right-of-way of said Justin Road and said Conveyors Street, a distance of 60.16 feet to a point for corner situated in the approximate centerline of said Conveyors Street;

THENCE along the approximate centerline of said Conveyors Street and over and across said Lot 1R, Block C, the following:

South 01 deg 43 min 20 sec East, a distance of 39.59 feet to a point for corner, and being the beginning of a curve to the right having a radius of 500.00 feet, a central angle of 13 deg 38 min 17 sec, a chord bearing of South 05 deg 05 min 49 sec West, and a chord length of 118.73 feet;

Along said curve to the right, an arc distance of 119.01 feet to a point for corner, and being the beginning of a curve to the left having a radius of 1,199.92 feet, a central angle of 15 deg 08 min 20 sec, a chord bearing of South 04 deg 20 min 47 sec West, and a chord length of 316.12 feet;

Along said curve to the left, an arc distance of 317.05 feet to a point for corner;

South 03 deg 13 min 23 sec East, a distance of 39.51 feet to a point for corner;

South 86 deg 46 min 37 sec West, a distance of 360.01 feet to the POINT OF BEGINNING.

CONTAINING 4.639 acres or 202,068 square feet of land, more or less.

Bearings described herein are based upon an on-the-ground Survey performed in the field on the 25th day of April, 2024, utilizing a G.P.S. bearing related to the Texas Coordinate System, North Texas Central Zone (4202), NAD 83, grid values from the GeoShack VRS network.

**EXHIBIT A-5  
SUBDISTRICT D LEGAL DESCRIPTION**

**STATE OF TEXAS                   §  
COUNTY OF ROCKWALL       §**

BEING a tract of land situated in the E.M. ELLIOTT SURVEY, ABSTRACT NO. 77 and the JOHN LOCKHART SURVEY, ABSTRACT NO. 134, City of Rockwall, Rockwall County, Texas and a portion of Lot 1, Block B, Rockwall Commercial, an addition to the City of Rockwall, Rockwall County, Texas, according to the plat thereof recorded in County Clerk's File No. 20210000008470, Plat Records, Rockwall County, Texas (P.R.R.C.T.), and a portion of Conveyors Street, a 60' right-of-way, and being more particularly described as follows:

COMMENCING at a 5/8-inch iron rod with red plastic cap stamped "KHA" found for the most Southerly Southeast corner of said Lot 1, Block B, said iron rod being situated in the North right-of-way line of Interstate Highway 30, a variable width right-of-way, and the West right-of-way line of F.M. Highway 3549, a variable width right-of-way, and also being the Southeast corner of a corner clip;

THENCE, departing the West right-of way line of said F.M. Highway 3549 and said corner clip, and along the South line of said Lot 1, Block B, and the North right-of-way line of said Interstate Highway 30, the following:

South 72 deg 46 min 18 sec West, a distance of 384.46 feet to a 5/8" iron rod found;

South 64 deg 14 min 27 sec West, a distance of 202.24 feet to a point from which a 5/8-inch iron rod with pink plastic cap stamped "TXDOT" found bears South 77 deg 02 min 27 sec West, a distance of 0.68 feet;

South 72 deg 46 min 18 sec West, a distance of 1,507.74 feet to a 5/8-inch iron rod with red plastic cap stamped "KHA" found for the most Southerly Southwest corner of said Lot 1, Block B, and the Southeast corner of the remainder of said Lot 1, Block D;

THENCE South 72 deg 43 min 43 sec West, along the South line of the remainder of said Lot 1, Block D, and continuing along the North right-of-way line of said Interstate Highway 30, a distance of 169.80 feet to a 1/2-inch iron rod with yellow plastic cap stamped "RPLS5034" found;

THENCE South 72 deg 46 min 08 sec West, continuing along the South line of the remainder of said Lot 1, Block D, and the North right-of-way line of said Interstate Highway 30, a distance of 136.39 feet to a 5/8-inch iron rod with pink plastic cap stamped "TXDOT" found, said iron rod being the Southwest corner of the remainder of said Lot 1, Block D, and being the beginning of a non-tangent curve to the right having a

radius of 397.84 feet, a central angle of 13 deg 52 min 54 sec, a chord bearing of North 10 deg 51 min 14 sec West, and a chord length of 96.15 feet;

THENCE along said non-tangent curve to the right, departing the South line of the remainder of said Lot 1, Block D, and the North right-of-way line of said Interstate Highway 30, and along the West line of the remainder of said Lot 1, Block D, and the East right-of-way line of said Conveyors Street, an arc distance of 96.39 feet to a point;

THENCE North 03 deg 13 min 23 sec West, continuing along the West line of the remainder of said Lot 1, Block D, and the East right-of-way line of said Conveyors Street, a distance of 144.04 feet to a point;

THENCE South 86 deg 34 min 32 sec West, departing the West line of the remainder of said Lot 1, Block D, and the East right-of-way line of said Conveyors Street, and crossing the right-of-way of said Conveyors Street, a distance of 60.17 feet to a 5/8-inch iron rod with red plastic cap stamped "KHA" found, said iron rod being the Southeast corner of said Lot 1R, Block C, and being situated in the West right-of-way line of said Conveyors Street;

THENCE South 86 deg 34 min 32 sec West, departing the West right-of-way line of said Conveyors Street, and along the common line of said Lot 1R, Block C, and Lot 1, Block C, of said Rockwall Commercial Park, a distance of 309.03 feet to a point from which a 1/2-inch iron rod found bears South 74 deg 26 min 07 sec East, a distance of 0.62 feet;

THENCE North 05 deg 29 min 52 sec West, departing said common line and along the common line of said Lot 1R, Block C, and a tract of land described in deed to Rockwall 549/I-30 Partners LP, recorded in Instrument Number 200700387631, Official Public Records, Rockwall County, Texas (O.P.R.R.C.T.), a distance of 1,036.76 feet to a point from which a 1/2-inch iron rod found bears North 78 deg 37 min 38 sec East, a distance of 0.42 feet;

THENCE North 89 deg 44 min 47 sec East, along the common line of said Lot 1R, Block C, and a tract of land as described in deed to Janis G. Dorris & Nelda L. Lacuesta, recorded in Volume 850, Page 85, O.P.R.R.C.T., a distance of 175.03 feet to a point from which a 1/2-inch iron rod found bears South 49 deg 13 min 08 sec East, a distance of 0.47 feet;

THENCE North 01 deg 22 min 01 sec West, continuing along said common line, a distance of 14.02 feet to a 5/8-inch iron rod with red plastic cap stamped "KHA" found for a Northeast corner of said Lot 1R, Block C, and a Southeast corner of said Janis G. Dorris & Nelda L. Lacuesta tract;

THENCE North 88 deg 16 min 40 sec East, departing said common line and along the North line of said Lot 1R, Block C, and the South right-of-way line of Justin Road, an 85-foot right-of-way, a distance of 204.88 feet to a 5/8-inch iron rod with red plastic cap stamped "KHA" found for the most Northerly corner of said Lot 1R, Block C;

THENCE North 88 deg 16 min 27 sec East, departing the North line of said Lot 1R, Block C, and over and across the right-of-way of said Justin Road and said Conveyors Street, a distance of 60.16 feet to a point for corner situated in the approximate centerline of said Conveyors Street, said being the POINT OF BEGINNING;

THENCE North 88 deg 16 min 27 sec East, departing the approximate centerline and over and across said Conveyors Street, a distance of 60.00 feet to a 5/8-inch iron rod with red plastic cap stamped "KHA" found for a Northwest corner of said Lot 1, Block B;

THENCE along the North line of said Lot 1, Block B, and the South right-of-way line of said Justin Road, the following:

North 88 deg 16 min 40 sec East, a distance of 311.50 feet to a 1/2-inch iron rod with red plastic cap stamped "W.A.I. 5714" set for corner;

North 88 deg 25 min 20 sec East, a distance of 281.12 feet to a 1/2-inch iron rod with red plastic cap stamped "W.A.I. 5714" set for corner and being the beginning of a curve to the left having a radius of 1,592.50 feet, a central angle of 09 deg 32 min 29 sec, a chord bearing of North 83 deg 30 min 26 sec East, and a chord length of 264.89 feet;

Along said curve to the left, an arc distance of 265.19 feet to a point for corner;

THENCE departing the North line of said Lot 1, Block B, and the South right-of-way of said Justin Road, and over and across said Lot 1, Block B, the following:

South 03 deg 13 min 23 sec East, a distance of 507.25 feet to a point for corner;

South 86 deg 46 min 37 sec West, a distance of 976.69 feet to a point for corner situated in the approximate centerline of said Conveyors Street;

THENCE along the approximate centerline of said Conveyors Street, the following:

North 03 deg 13 min 23 sec West, a distance of 39.51 feet to a point for corner and being the beginning of a curve to the right having a radius of 1,199.92 feet, a central angle of 15 deg 08 min 20 sec, a chord bearing of North 04 deg 20 min 47 sec East, and a chord length of 316.12 feet;

Along said curve to the right, an arc distance of 317.05 feet to a point for corner and being the beginning of a curve to the left having a radius of 500.00 feet, a central angle of 13 deg 38 min 17 sec, a chord bearing of North 05 deg 05 min 49 sec East, and a chord length of 118.73 feet;

Along said curve to the left, an arc distance of 119.01 feet to a point for corner;

North 01 deg 43 min 20 sec West, a distance of 39.59 feet to the POINT OF BEGINNING.

CONTAINING 10.924 acres or 475,847 square feet of land, more or less.

Bearings described herein are based upon an on-the-ground Survey performed in the field on the 25th day of April, 2024, utilizing a G.P.S. bearing related to the Texas Coordinate System, North Texas Central Zone (4202), NAD 83, grid values from the GeoShack VRS network.

**TRACT 4: CONVEYOR STREET (TO BE ABANDONED):**

**BEING** a tract of land situated in the E.M. Elliot Survey, Abstract No. 77, and the John Lockhart, Survey, Abstract No. 134, City of Rockwall, Rockwall County, Texas, and being a portion of Conveyors Street (60' wide public right-of-way)(Cabinet B, Slide 206, Plat Records, Rockwall County, Texas) and being more particularly described by metes and bounds as follows:

**BEGINNING** at a 5/8-inch iron rod with red plastic cap stamped "KHA" found for the northernmost northwest corner of Lot 1, Block B, Rockwall Commercial, an addition to the City of Rockwall, Texas, according to the plat thereof recorded in Instrument No. 20210000008470, said Plat Records, common to the north corner of a corner clip at the intersection of the southerly right-of-way line of Justin Road (85' wide public right-of-way)(Instrument No. 20210000008470, said Plat Records) and the easterly right-of-way line of said Conveyors Street;

**THENCE** South 43°16'40" West, with said corner clip, a distance of 42.43 feet to a 5/8-inch iron rod with red plastic cap stamped "KHA" found for the south corner of said corner clip;

**THENCE** with the common line of said Lot 1, Block B and said Conveyors Street the following courses and distances:

South 01°43'20" East, a distance of 9.59 feet to a 5/8-inch iron rod with red plastic cap stamped "KHA" found at the beginning of a tangent curve to the right with a radius of 530.00 feet, a central angle of 13°38'17", and a chord bearing and distance of South 05°05'50" West, 125.86 feet;

In a southerly direction, with said tangent curve to the right, an arc distance of 126.15 feet to a 5/8-inch iron rod with red plastic cap stamped "KHA" found at the beginning of a reverse curve to the left with a radius of 1,170.00 feet, a central angle of 15°08'16", and a chord bearing and distance of South 04°20'45" West, 308.22 feet;

In a southerly direction, with said reverse curve to the left, an arc distance of 309.12 feet to a 5/8-inch iron rod with red plastic cap stamped "KHA" found for corner;

South 03°13'23" East, passing at a distance of 478.23 feet a 5/8-inch iron rod with red plastic cap stamped "KHA" found for the westernmost southwest corner of said Lot 1, Block B, and continuing along the same course and with the common line of Lot 1, Block D, Rockwall Commercial Park, an addition to the City of Rockwall, Texas, according to the plat thereof recorded in Cabinet B, Slide 206, said Plat Records, for a total distance of 562.44 feet to a 5/8-inch iron rod with red plastic cap stamped "KHA" set for corner;

**THENCE** South 86°46'37" West, departing said common line and crossing said Conveyors Street, a distance of 60.00 feet to a 5/8-inch iron rod with red plastic cap stamped "KHA" found for the southeast corner of Lot 1R, Block C, Rockwall Commercial, an addition to the City of Rockwall, Texas, according to the plat thereof recorded in Instrument No. 20210000008470, said Plat Records, same being the northeast corner of a tract of land described in a deed to Donna Cullins Pritchard and Kimberly Cullins Collichio, recorded in Volume 7346, Page 158, Real Property Records, Rockwall County, Texas;

**THENCE** with the common line of said Lot 1R, Block C and said Conveyors Street the following courses and distances:

North 03°13'23" West, a distance of 562.44 feet to a 5/8-inch iron rod with red plastic cap stamped "KHA" found at the beginning of a tangent curve to the right with a radius of 1,230.00 feet, a central angle of 15°08'16", and a chord bearing and distance of North 04°20'47" East, 324.03 feet;

**EXHIBIT A  
RIGHT-OF-WAY ABANDONMENT  
1.451 ACRES  
E.M. ELLIOT SURVEY, A-77 &  
JOHN LOCKHART SURVEY, A-134  
CITY OF ROCKWALL  
ROCKWALL COUNTY, TEXAS**

MICHAEL MARX  
REGISTERED PROFESSIONAL  
LAND SURVEYOR NO. 5181  
6160 WARREN PKWY., SUITE 210  
FRISCO, TEXAS 75034  
PH. 972-335-3580  
michael.marx@kimley-horn.com

<b>Kimley»Horn</b>	
6160 Warren Parkway, Suite 210 Frisco, Texas 75034	FIRM # 10193822 Tel. No. (972) 335-3580 Fax No. (972) 335-3779
<b>Scale</b>	<b>Drawn by</b>
N/A	JM/H
<b>Checked by</b>	<b>Date</b>
KHA	Jan. 2024
<b>Project No.</b>	<b>Sheet No.</b>
063942002	1 OF 3

HOEFNER, JOHN 1/17/2024 11:31 AM K:\FRI\_SURVEY\063942002-ROCKWALL COMMERCIAL BLOCK B LOT 1 - ROCKWALL\DWG\063942002 CONVEYORS ABND EX.DWG

In a northerly direction, with said tangent curve to the right, an arc distance of 324.97 feet to a 5/8-inch iron rod with red plastic cap stamped "KHA" found at the beginning of a reverse curve to the left with a radius of 470.00 feet, a central angle of 13°38'17", and a chord bearing and distance of North 05°05'49" East, 111.61 feet;

In a northerly direction, with said reverse curve to the left, an arc distance of 111.87 feet to a 5/8-inch iron rod with red plastic cap stamped "KHA" found for corner;

North 01°43'20" West, a distance of 9.59 feet to a 5/8-inch iron rod with red plastic cap stamped "KHA" found for the easternmost northeast corner of said Lot 1R, Block C, common to the south corner of a corner clip at the intersection of the westerly right-of-way line of said Lot 1R, Block C and the southerly right-of-way line of said Justin Road;

**THENCE** North 46°43'20" West, along said corner clip, a distance of 42.43 feet to a 5/8-inch iron rod with red plastic cap stamped "KHA" found for the northernmost northeast corner of said Lot 1R, Block C, common to the north corner of said corner clip;

**THENCE** North 88°16'40" East, crossing said Conveyors Street, a distance of 120.00 feet to the **POINT OF BEGINNING** and containing 63,187 square feet or 1.451 acres of land, more or less.

EXHIBIT A  
RIGHT-OF-WAY ABANDONMENT  
1.451 ACRES  
E. M. ELLIOT SURVEY, A-77 &  
JOHN LOCKHART SURVEY, A-134  
CITY OF ROCKWALL  
ROCKWALL COUNTY, TEXAS

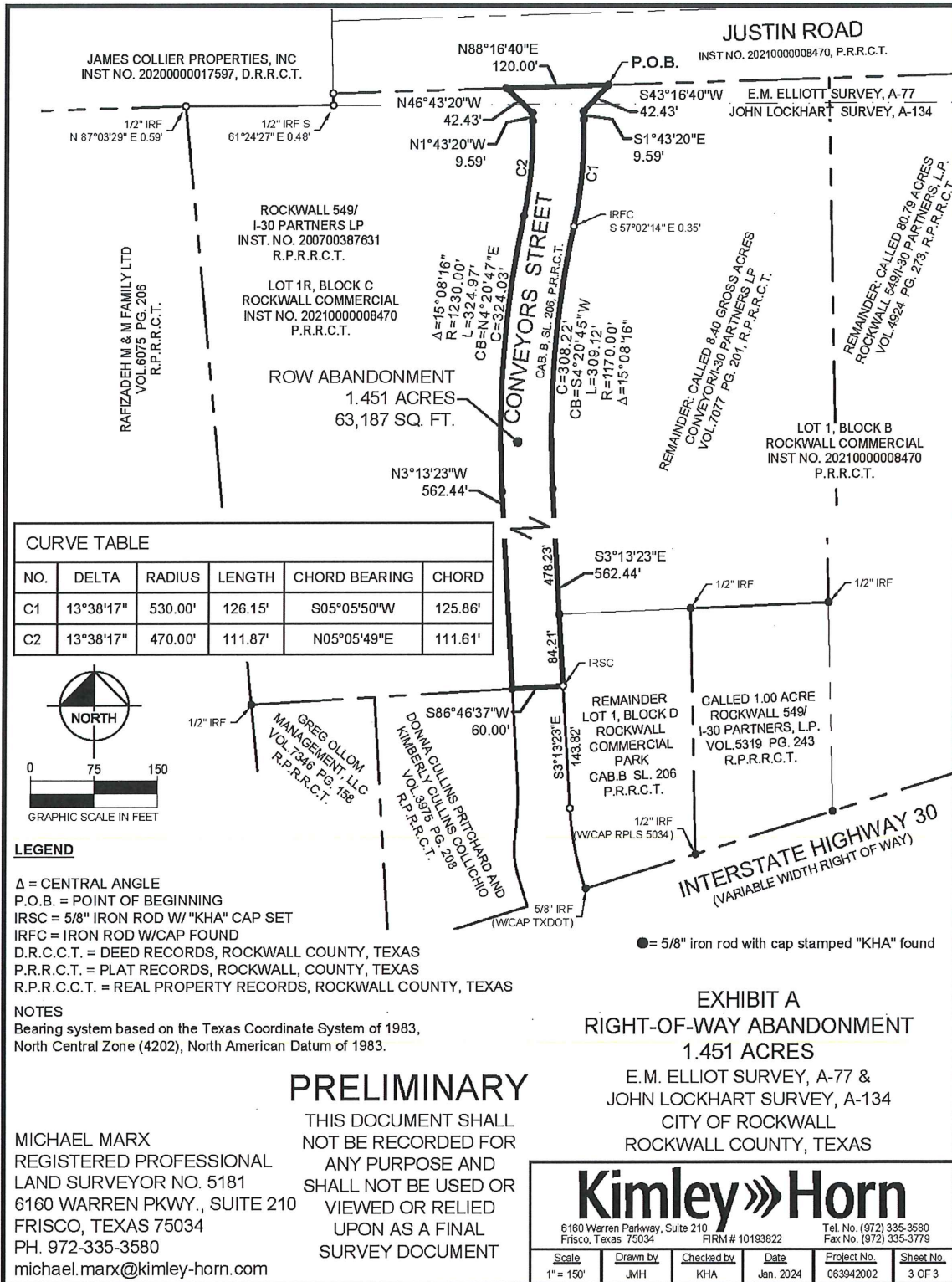
**PRELIMINARY**

THIS DOCUMENT SHALL  
NOT BE RECORDED FOR  
ANY PURPOSE AND  
SHALL NOT BE USED OR  
VIEWED OR RELIED  
UPON AS A FINAL  
SURVEY DOCUMENT

MICHAEL MARX  
REGISTERED PROFESSIONAL  
LAND SURVEYOR NO. 5181  
6160 WARREN PKWY., SUITE 210  
FRISCO, TEXAS 75034  
PH. 972-335-3580  
michael.marx@kimley-horn.com

<b>Kimley»Horn</b>					
6160 Warren Parkway, Suite 210 Frisco, Texas 75034		FIRM # 10193822		Tel. No. (972) 335-3580 Fax No. (972) 335-3779	
<u>Scale</u>	<u>Drawn by</u>	<u>Checked by</u>	<u>Date</u>	<u>Project No.</u>	<u>Sheet No.</u>
N/A	JMH	KHA	Jan. 2024	063942002	2 OF 3

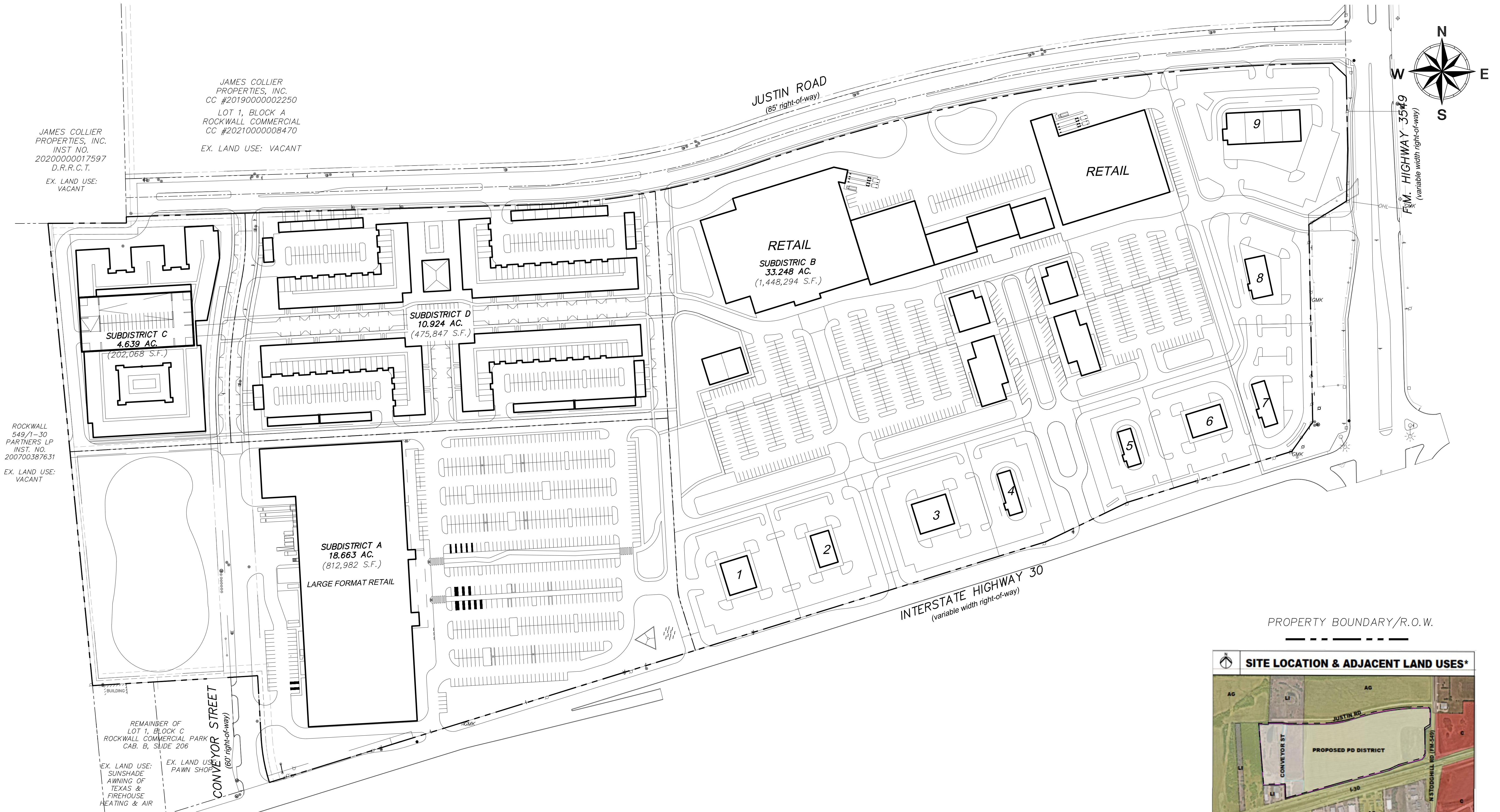
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HOEFNER JOHN 1/17/2024 11:32 AM K\FRI SURVEY\063942002-ROCKWALL COMMERCIAL BLOCK B LOT 1 - ROCKWALL\DWG\063942002 CONVEYORS ABND EX DWG







JAMES COLLIER PROPERTIES, INC.  
INST. NO. 2020000017597  
D.R.R.C.T.  
EX. LAND USE: VACANT

JAMES COLLIER PROPERTIES, INC.  
CC #2019000002250  
LOT 1, BLOCK A  
ROCKWALL COMMERCIAL  
CC #2021000008470  
EX. LAND USE: VACANT

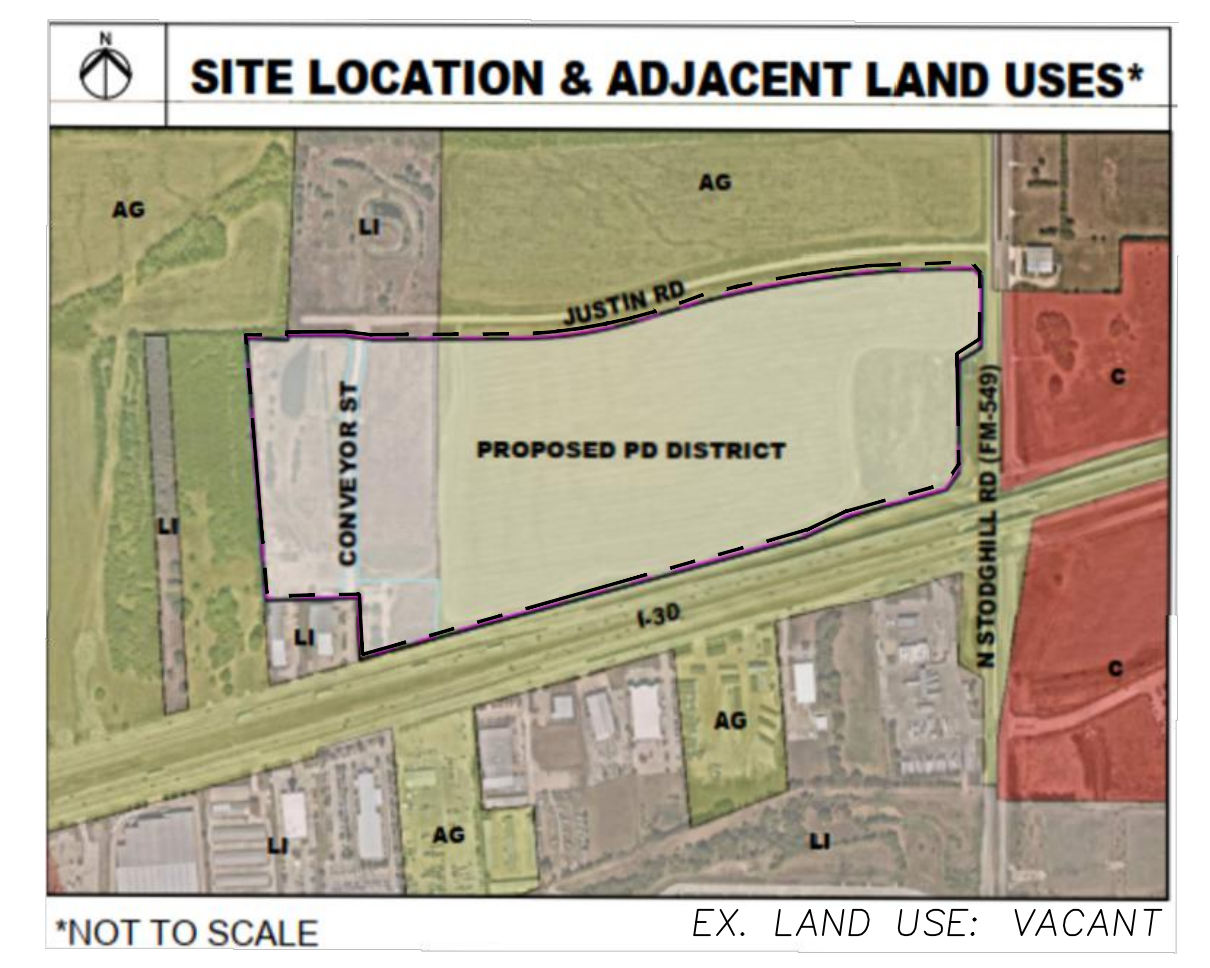
ROCKWALL 549/1-30 PARTNERS LP  
INST. NO. 200700387631  
EX. LAND USE: VACANT

REMAINDER OF LOT 1, BLOCK C  
ROCKWALL COMMERCIAL PARK  
CAB. B, SLIDE 206  
EX. LAND USE: SUNSHADE AWNING OF TEXAS & FIREHOUSE HEATING & AIR

EX. LAND USE: PAWN SHOP

# ROCKWALL HEIGHTS

PROPERTY BOUNDARY/R.O.W.



\*NOT TO SCALE EX. LAND USE: VACANT



ADDRESS:  
3030 NOWITZKI WAY  
SUITE 400  
DALLAS, TX 75219



ADDRESS:  
8222 DOUGLAS AVE.  
SUITE 390  
DALLAS, TX 75225



ADDRESS:  
420 ALAN WOOD ROAD  
CONSHOHOCKEN, PA 19428



ADDRESS:  
20700 CIVIC CENTER DR.  
SUITE 170  
SOUTHFIELD, MI 48076



ADDRESS:  
2323 ROSS AVE.  
6TH FLOOR  
DALLAS, TX 75201



ADDRESS:  
6750 HILLCREST PLAZA DR.  
SUITE 215  
DALLAS, TX 75219

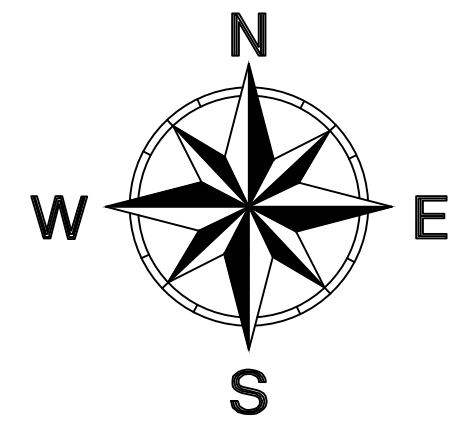
CURRENT OWNERS:  
ROCKWALL 549/130 PARTNERS, LP &  
CONVEYOR 130 PARTNERS, LP

Job #: 24039 Rockwall, Texas Rockwall Heights // August 08 2024 // Site Analysis

## SUPPLEMENTAL OVERALL CONCEPTUAL DEVELOPMENT PLAN



SUBDISTRICT C  
4.639 AC.  
(202,068 S.F.)



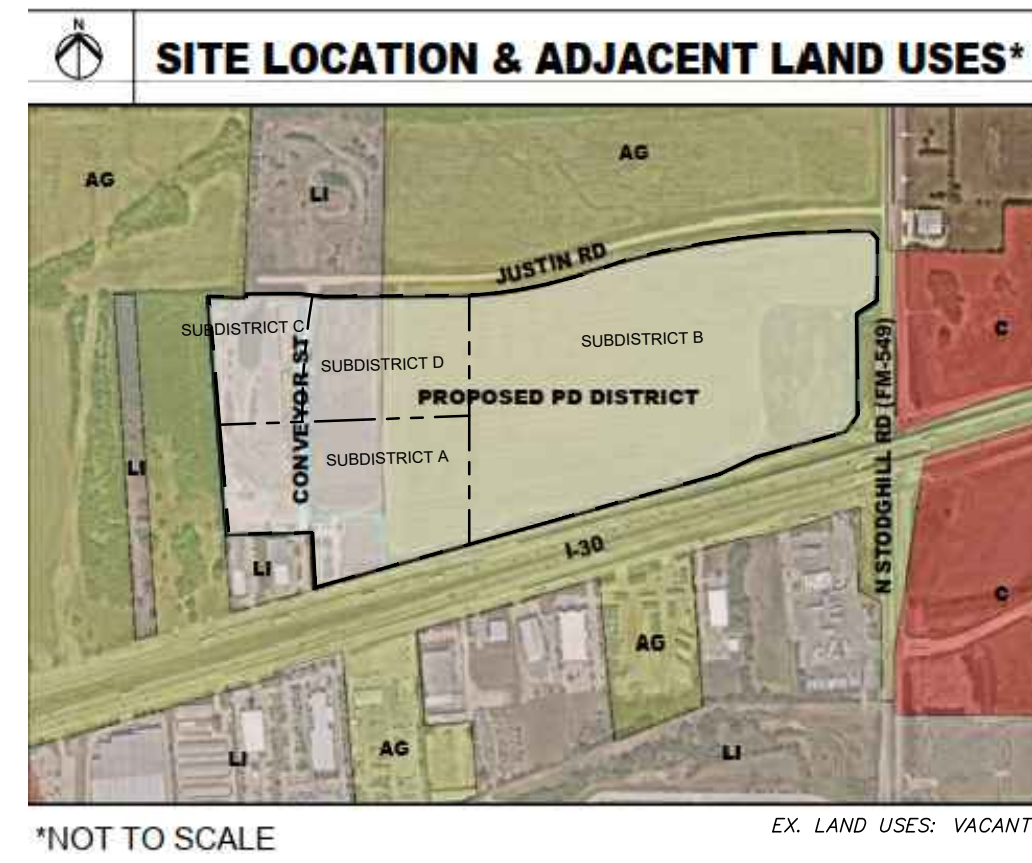
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PROPERTY BOUNDARY/R.O.W.

CURRENT OWNERS:  
ROCKWALL 549/130 PARTNERS, LP &  
CONVEYOR 130 PARTNERS, LP

- NOTES:
- MINIMUM SIDE & REAR YARD SETBACKS: 10'
  - DIMENSIONS ARE TO FACE OF CURB OTHERWISE NOTED.

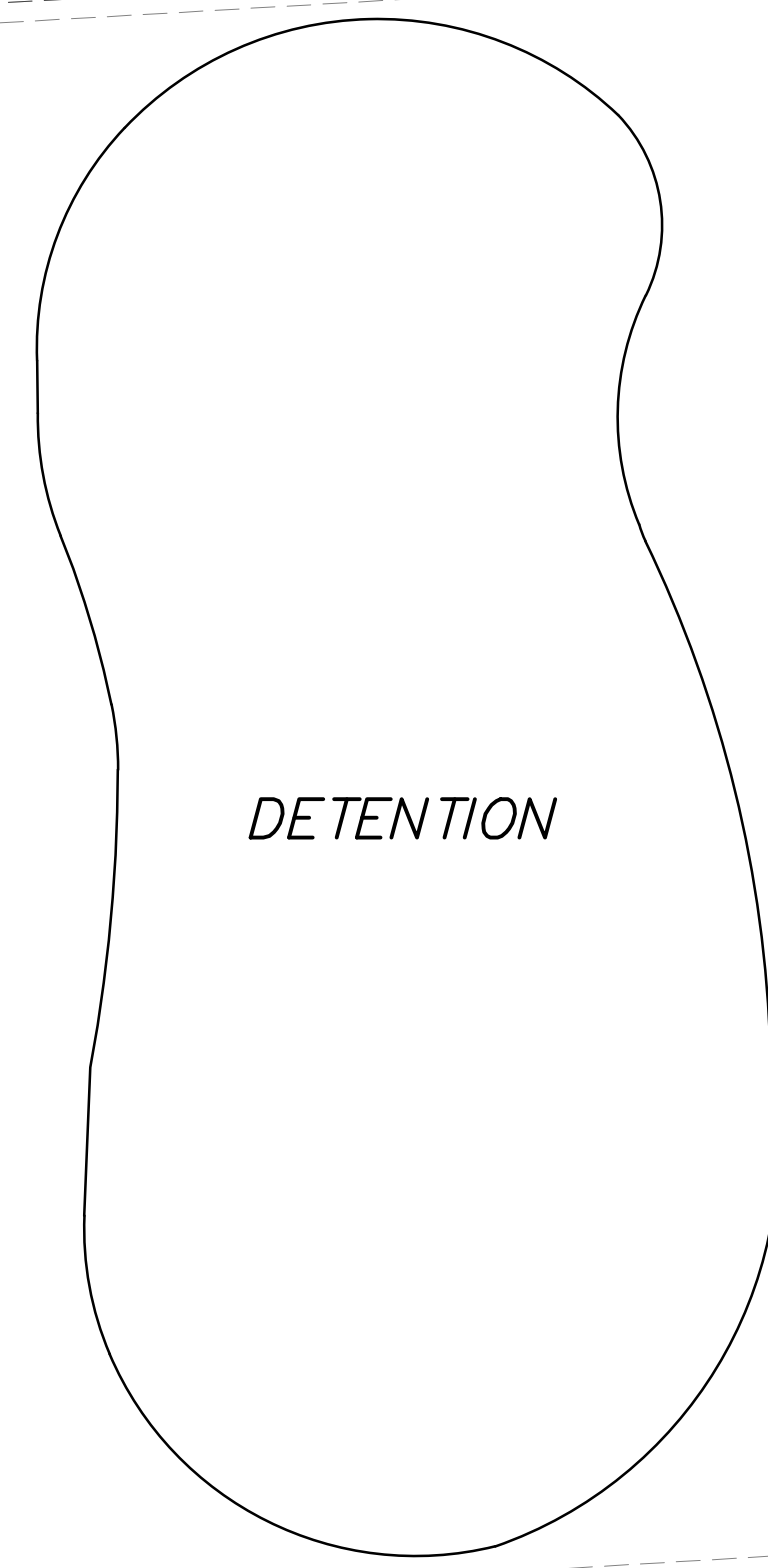
SUBDISTRICT D  
10.924 AC.  
(475,847 S.F.)



\*NOT TO SCALE

EX. LAND USES: VACANT

ROCKWALL 549/1-30  
PARTNERS LP  
INST. NO. 200700387631  
EX. LAND USE: VACANT



DETENTION

LARGE FORMAT RETAIL

SUBDISTRICT A  
18.663 AC.  
(812,982 S.F.)

REMAINDER OF  
LOT 1, BLOCK C  
ROCKWALL COMMERCIAL PARK  
CAB. B, SLIDE 206

EX. LAND USE:  
SUNSHADE AWNING OF  
TEXAS & FIREHOUSE  
HEATING & AIR

EX. LAND USE:  
PAWN SHOP

CONVEYOR STREET  
(60' right-of-way)

INTERSTATE HIGHWAY 30  
(variable width right-of-way)

NAV. TOWER  
FLAG POLES  
(TYP.)

425' SPACING



Engineering  
& Design  
ADDRESS:  
20700 CIVIC CENTER DR.  
SUITE 170  
SOUTHFIELD, MI 48076



ADDRESS:  
2323 ROSS AVE.  
6TH FLOOR  
DALLAS, TX 75201

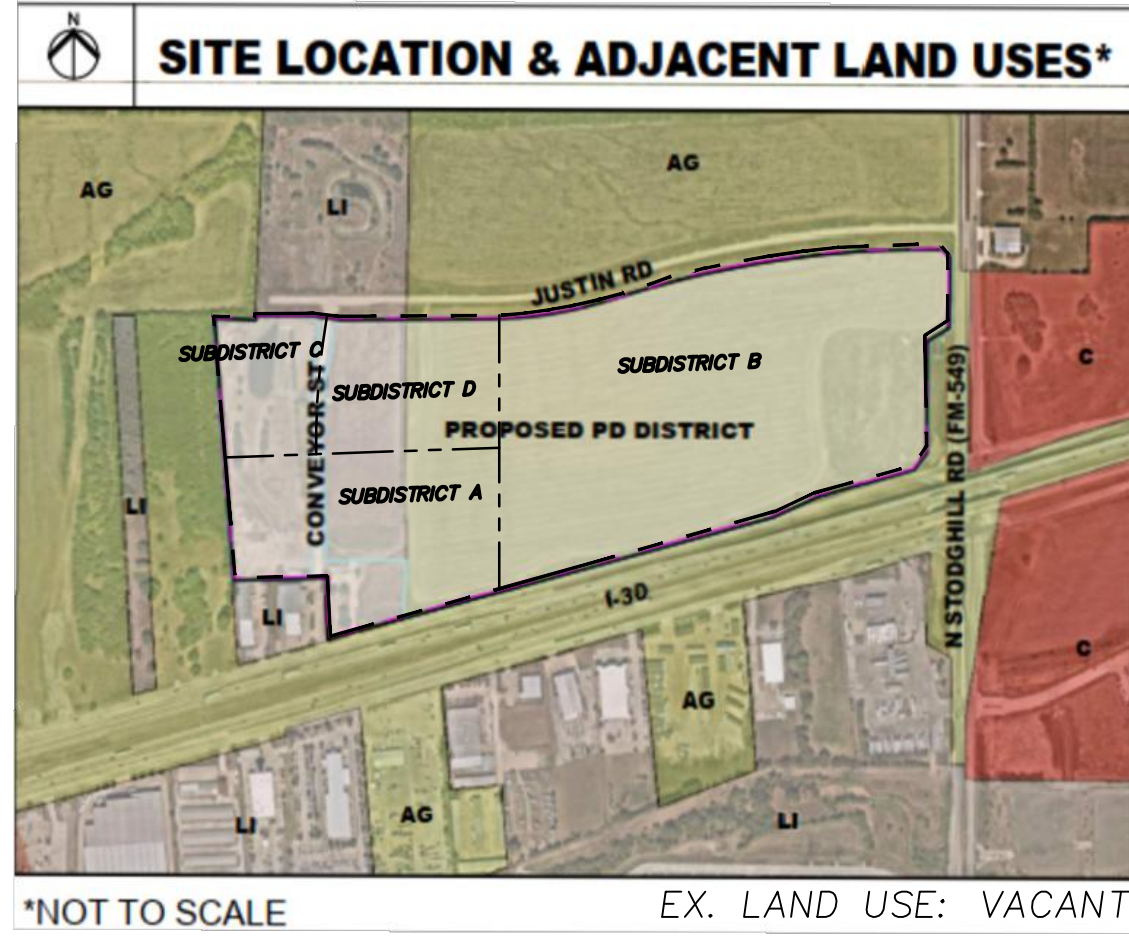


ADDRESS:  
6750 HILLCREST PLAZA DR.  
SUITE 215  
DALLAS, TX 75219

CURRENT OWNERS:  
ROCKWALL 549/130 PARTNERS, LP &  
CONVEYOR 130 PARTNERS, LP

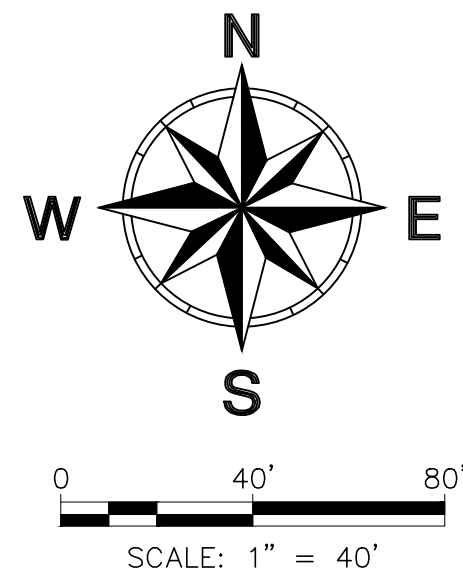
NOTES:  
MINIMUM SIDE & REAR YARD SETBACKS: 10'

SUPPLEMENTAL  
SUBDISTRICT A DEVELOPMENT PLAN



\*NOT TO SCALE EX. LAND USE: VACANT

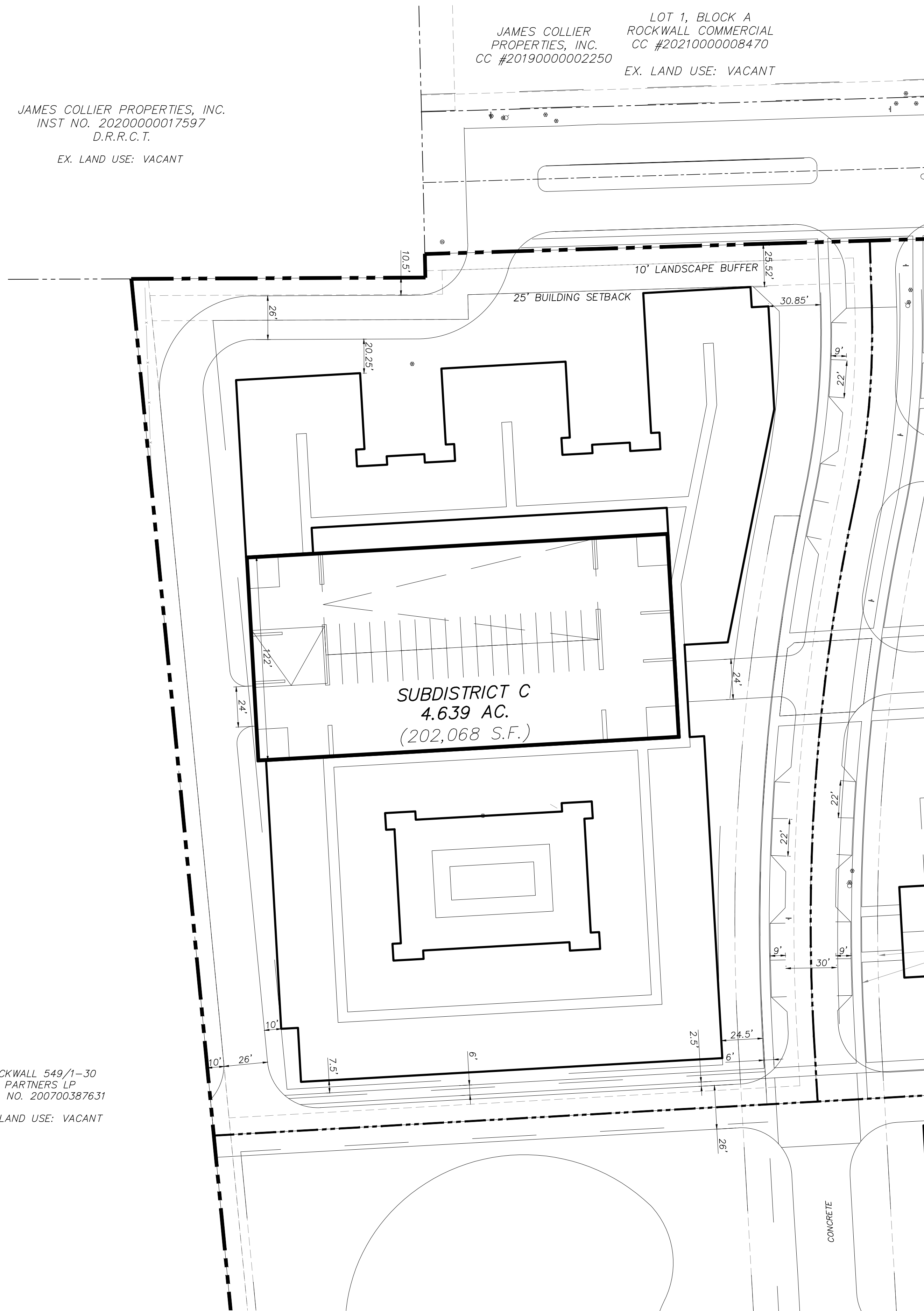
PROPERTY BOUNDARY/R.O.W.



JAMES COLLIER PROPERTIES, INC.  
INST. NO. 2020000017597  
D.R.R.C.T.  
EX. LAND USE: VACANT

LOT 1, BLOCK A  
ROCKWALL COMMERCIAL  
CC #2021000008470  
EX. LAND USE: VACANT

ROCKWALL 549/1-30  
PARTNERS LP  
INST. NO. 200700387631  
EX. LAND USE: VACANT



# ROCKWALL HEIGHTS



ADDRESS:  
3030 NOWITZKI WAY  
SUITE 400  
DALLAS, TX 75219



ADDRESS:  
8222 DOUGLAS AVE.  
SUITE 390  
DALLAS, TX 75225



ADDRESS:  
420 ALAN WOOD ROAD  
CONSHOHOCKEN, PA 19428



Engineering & Design  
ADDRESS:  
20700 CIVIC CENTER DR.  
SUITE 170  
SOUTHFIELD, MI 48076



ADDRESS:  
2323 ROSS AVE.  
6TH FLOOR  
DALLAS, TX 75201

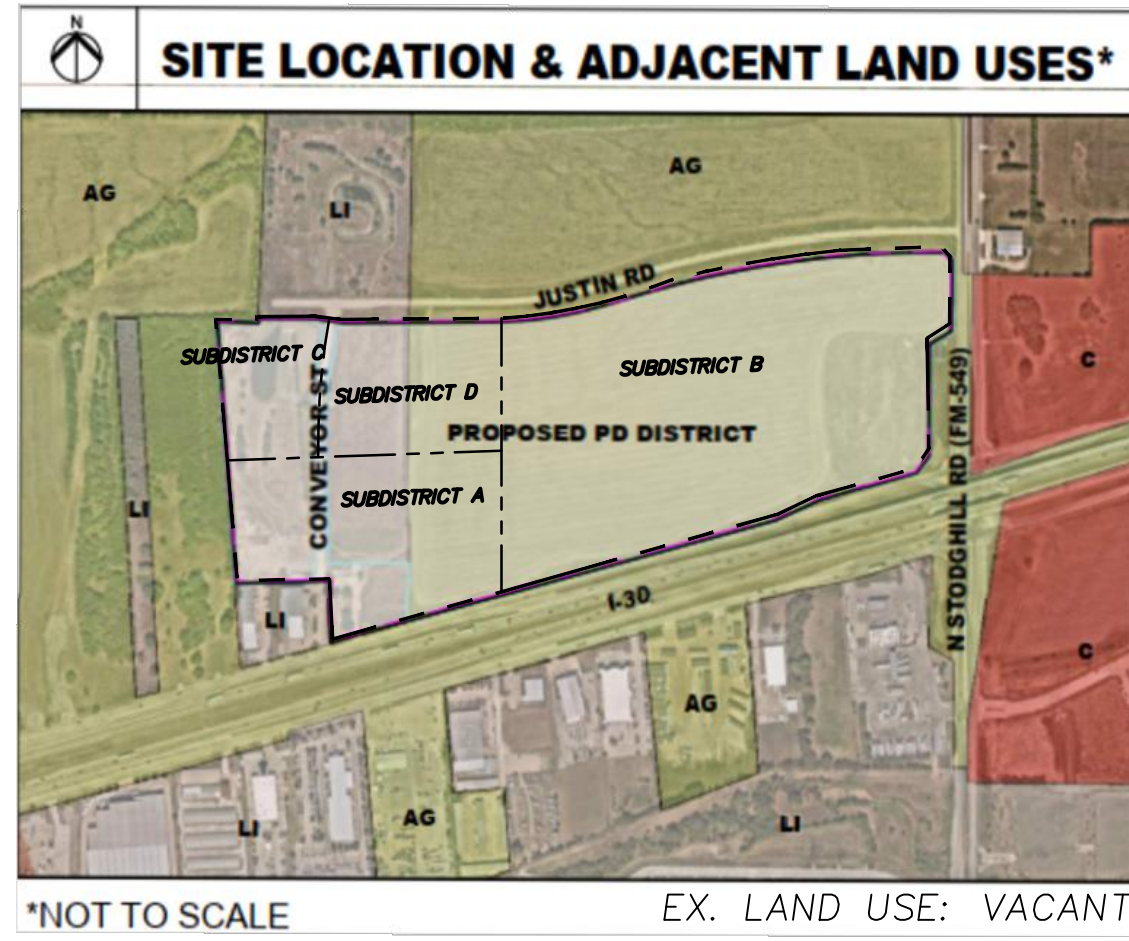


ADDRESS:  
6750 HILLCREST PLAZA DR.  
SUITE 215  
DALLAS, TX 75219

CURRENT OWNERS:  
ROCKWALL 549/130 PARTNERS, LP &  
CONVEYOR 130 PARTNERS, LP

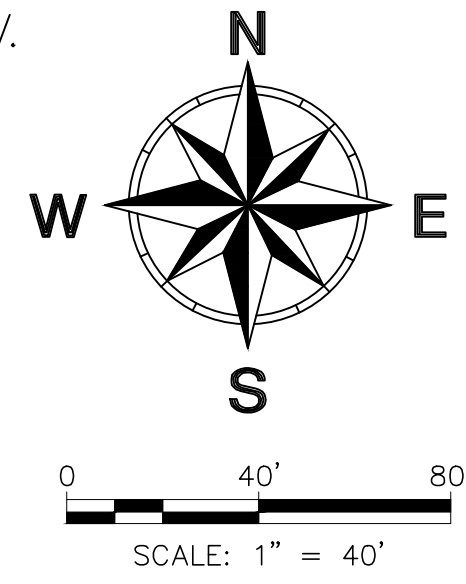
Job #: 24039 Rockwall, Texas Rockwall Heights // August 08 2024 // Site Analysis

## SUPPLEMENTAL SUBDISTRICT C DEVELOPMENT PLAN



\*NOT TO SCALE EX. LAND USE: VACANT

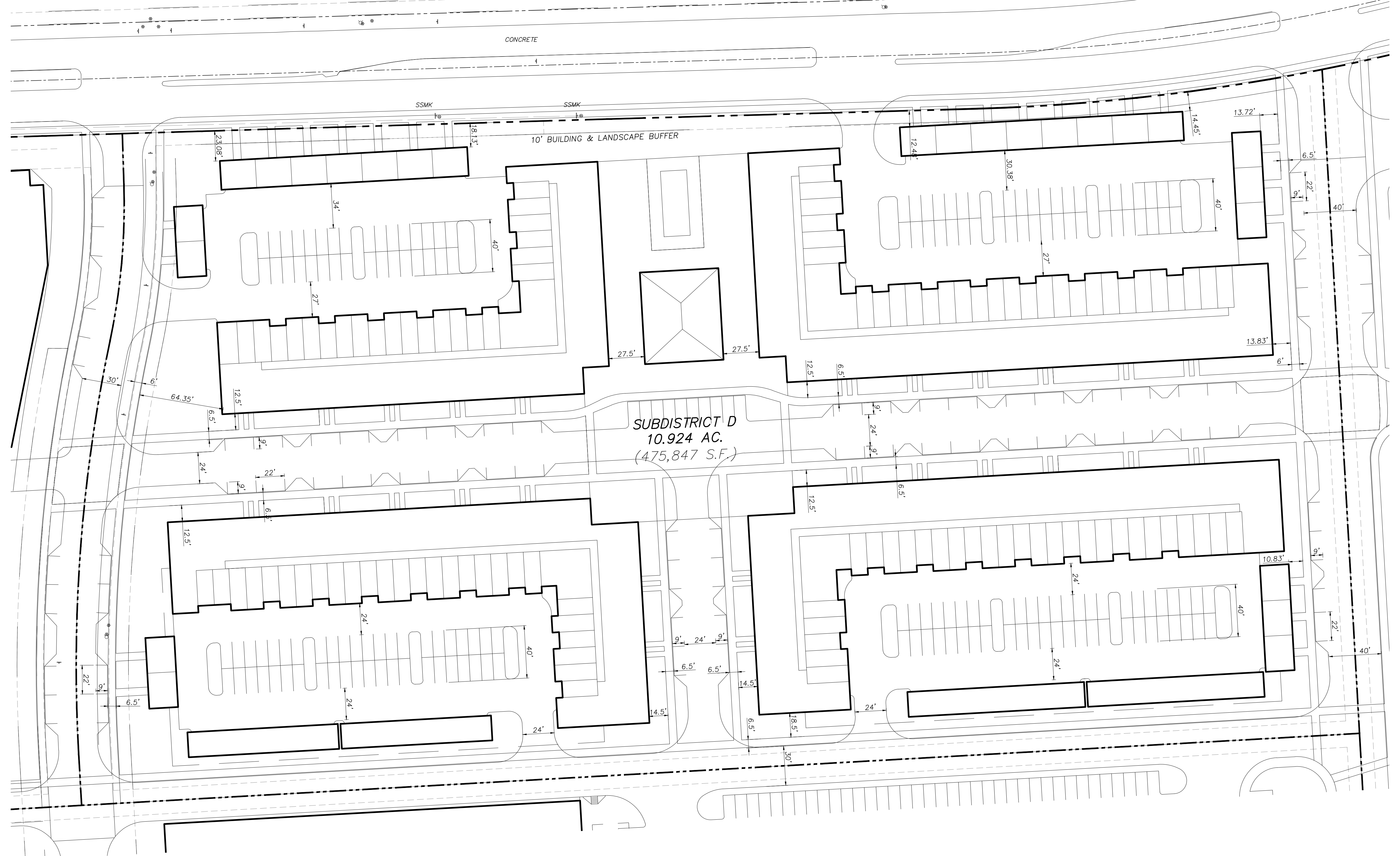
PROPERTY BOUNDARY/R.O.W.



JAMES COLLIER  
PROPERTIES, INC.  
CC #2019000002250  
LOT 1, BLOCK A  
ROCKWALL COMMERCIAL  
CC #20210000008470

EX. LAND USE: VACANT

JUSTIN ROAD  
(85' right-of-way)



# ROCKWALL HEIGHTS

**GFF**design

ADDRESS:  
3030 NOWITZKI WAY  
SUITE 400  
DALLAS, TX 75219

**PegasusAblon**

ADDRESS:  
8222 DOUGLAS AVE.  
SUITE 390  
DALLAS, TX 75225



ADDRESS:  
420 ALAN WOOD ROAD  
CONSHOHOCKEN, PA 19428



Engineering  
& Design  
ADDRESS:  
20700 CIVIC CENTER DR.  
SUITE 170  
SOUTHFIELD, MI 48076



ADDRESS:  
2323 ROSS AVE.  
6TH FLOOR  
DALLAS, TX 75201

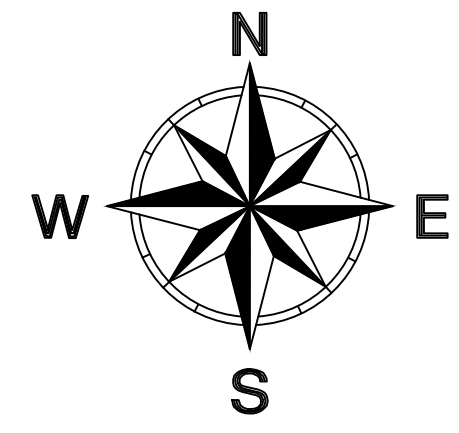


ADDRESS:  
6750 HILLCREST PLAZA DR.  
SUITE 215  
DALLAS, TX 75219

## SUPPLEMENTAL SUBDISTRICT D DEVELOPMENT PLAN

CURRENT OWNERS:  
ROCKWALL 549/130 PARTNERS, LP &  
CONVEYOR 130 PARTNERS, LP

Job #: 24039 Rockwall, Texas Rockwall Heights // August 08 2024 // Site Analysis



0 100 200  
Scale: 1" = 100'

PROPERTY BOUNDARY/R.O.W.

JUSTIN ROAD  
(85' right-of-way)

F.M. HIGHWAY 3549  
(variable width right-of-way)

INTERSTATE HIGHWAY 30  
(variable width right-of-way)

CONVEYOR STREET  
(60' right-of-way)

SUBDISTRICT C  
4.639 AC.  
(202,008 S.F.)

SUBDISTRICT D  
10.924 AC.  
(475,847 S.F.)

SUBDISTRICT B  
33.248 AC.  
(1,448,294 S.F.)

LARGE FORMAT RETAIL  
SUBDISTRICT A  
18.664 AC.  
(812,982 S.F.)

LEGEND

- PHASE 1
- PHASE 2
- PHASE 3
- PHASE 4

ROCKWALL HEIGHTS  
**GFF**design

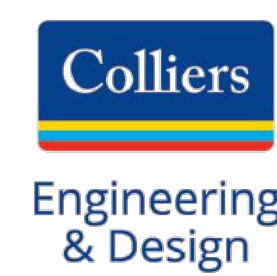
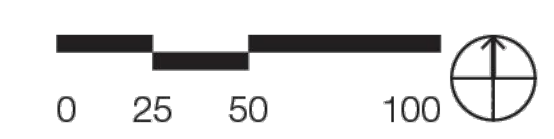
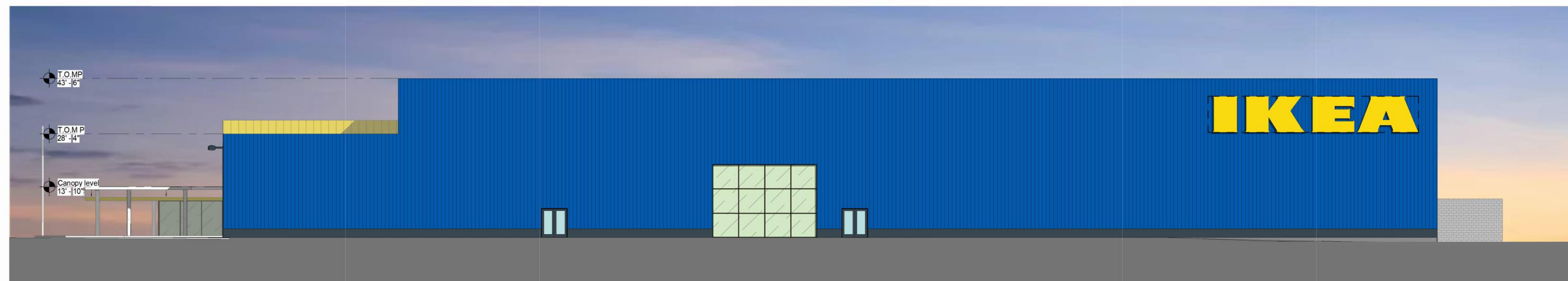


EXHIBIT E  
PHASING PLAN

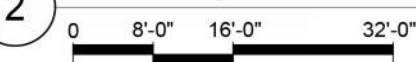




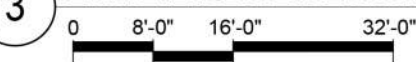
1 EXTERIOR ELEVATION - EAST



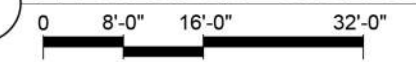
2 EXTERIOR ELEVATION - NORTH



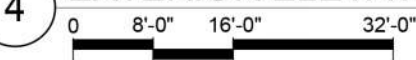
3 EXTERIOR ELEVATION - SOUTH



5 ELEVATION - SIGN BOARD - FUTURE



4 EXTERIOR ELEVATION - WEST





**NORTH STREET FACING**

SCALE: 1/16" = 1'-0"



**SOUTH STREET FACING**

SCALE: 1/16" = 1'-0"





**EAST STREET FACING**

SCALE: 1/16" = 1'-0"



**WEST**

SCALE: 1/16" = 1'-0"



**NORTH STREET FACING**

SCALE: 1/16" = 1'-0"



**SOUTH INTERNAL PARKING COURT**

SCALE: 1/16" = 1'-0"



**EAST STREET FACING**

SCALE: 1/16" = 1'-0"



**WEST INTERNAL PARKING COURT**

SCALE: 1/16" = 1'-0"



**NORTH STREET FACING**

SCALE: 1/16" = 1'-0"



**EAST INTERNAL PARKING COURT**

SCALE: 1/8" = 1'-0"



**SOUTH INTERNAL PARKING COURT**

SCALE: 1/16" = 1'-0"



**WEST STREET FACING**

SCALE: 1/8" = 1'-0"



**SOUTH ELEVATION**  
SCALE: 1/8" = 1'-0"



**WEST ELEVATION**  
SCALE: 1/8" = 1'-0"



**NORTH POOL FACING**

SCALE: 1/16" = 1'-0"



**EAST**

SCALE: 1/16" = 1'-0"



**SOUTH STREET FACING**

SCALE: 1/16" = 1'-0"



**WEST**

SCALE: 1/16" = 1'-0"





















EXAMPLE - JUNIOR ANCHOR



EXAMPLE - OMNI RETAIL



EXAMPLE - MAIN ENTRY



EXAMPLE - STODGHILL RD ENTRY



EXAMPLE - PAD SITE (LOGO CAN BE REMOVED)

The *Downtown* land use designation should include a mixture of land uses that are complementary to the existing development pattern and are intended to add to the attractive, pedestrian-oriented environment of Rockwall's historic downtown. In addition, this area is the historic core of the City and should continue to be a symbol of community life in Rockwall. The policies adopted in Appendix 'C', *Small Area Plans*, of this Comprehensive Plan should generally regulate this land use designation.

**DESIGNATION CHARACTERISTICS**

- 1 *Primary Land Uses:* Retail, Office, Restaurant and Residential Land Uses
- 2 *Secondary Land Uses:* Institutional/Civic Land Uses
- 3 *Zoning Districts:* Downtown (DT) District

**EXISTING LAND USE EXAMPLES**

- 1 Downtown Square and Surrounding Areas



**SPECIAL COMMERCIAL CORRIDOR (SC)**

The *Special Commercial Corridor* land use designation is intended to provide an area for commercial/retail and regional commercial/retail activity centers that are intended to support and serve the entire region. This area should include the recommendations contained in Appendix 'B', *Corridor Plans*, of this Comprehensive Plan.

**DESIGNATION CHARACTERISTICS**

- 1 *Primary Land Uses:* Regional Shopping Centers, Entertainment, Retail, Personal Services, Restaurant, Corporate Offices, Employment and Recreation Land Uses
- 2 *Secondary Land Uses:* Residential, Open Space, Parks, Trails, Banks, Service Stations and Institutional/Civic Land Uses (Secondary Land Uses should be integrated into a Larger Development)
- 3 *Zoning Districts:* Commercial (C) District and Planned Development (PD) District

**EXISTING LAND USE EXAMPLES**

- 1 IH-30 Corridor

**PUBLIC LAND AND OPEN SPACE**

**PARKS AND OPEN SPACE (OS)**

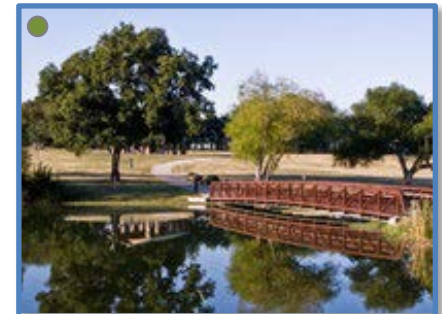
The *Parks and Open Space* land use designation includes all floodplains and major public open spaces (e.g. neighborhood parks, community parks, greenbelts, trail systems, etc.). These areas should be preserved and are intended to provide citywide recreation/trail opportunities and natural drainage areas that help define the character of Rockwall.

**DESIGNATION CHARACTERISTICS**

- 1 *Primary Land Uses:* Floodplain, Open Space, Parks, and Trails Land Uses
- 2 *Secondary Land Uses:* N/A
- 3 *Zoning Districts:* N/A

**EXISTING LAND USE EXAMPLES**

- 1 Harry Myers Park



**PUBLIC (P)**

The *Public* land use designation includes uses that are operated exclusively by a public body that serve the public's health, safety or general welfare. This land use designation includes land uses such as public schools, libraries, the airport, the City's administrative and service facilities, and any other state or federal facilities.

**DESIGNATION CHARACTERISTICS**

- 1 *Primary Land Uses:* Schools, Libraries, Fire Stations, Pump Stations, Water Towers, Police Stations, City Administrative Offices, and County, State or Federal Facilities
- 2 *Secondary Land Uses:* Open Space, Parks, and Trails Land Uses
- 3 *Zoning Districts:* N/A

**EXISTING LAND USE EXAMPLES**

- 1 City Place
- 2 County Courthouse
- 3 Municipal Courts Building

**QUASI-PUBLIC (QP)**





# 06 IH-30 CORRIDOR DISTRICT

## DISTRICT DESCRIPTION

The IH-30 Corridor is the primary retail corridor for the City of Rockwall. Currently the corridor is approximately 55% developed, with the remaining 45% being vacant or raw land. The Corridor acts as the western gateway for both the City and County of Rockwall, and has land uses that include retail, personal services, medical, and industrial. In the future the health of the IH-30 corridor is vital to maintaining a high per capita sales tax for the City of Rockwall.

## POINTS OF REFERENCE

- A. Lake Point Church
- B. Rochell Elementary School
- C. Walmart
- D. Costco

## LAND USE PALETTES

- Current Land Use
- Future Land Use

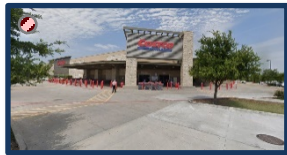
- John King Boulevard Trail Plan Rest Stop/Trailblazer Pylon
- IH-30 Corridor Plan Eastern Entry Portals



2/3 Future Regional Center



2 Future Regional Center

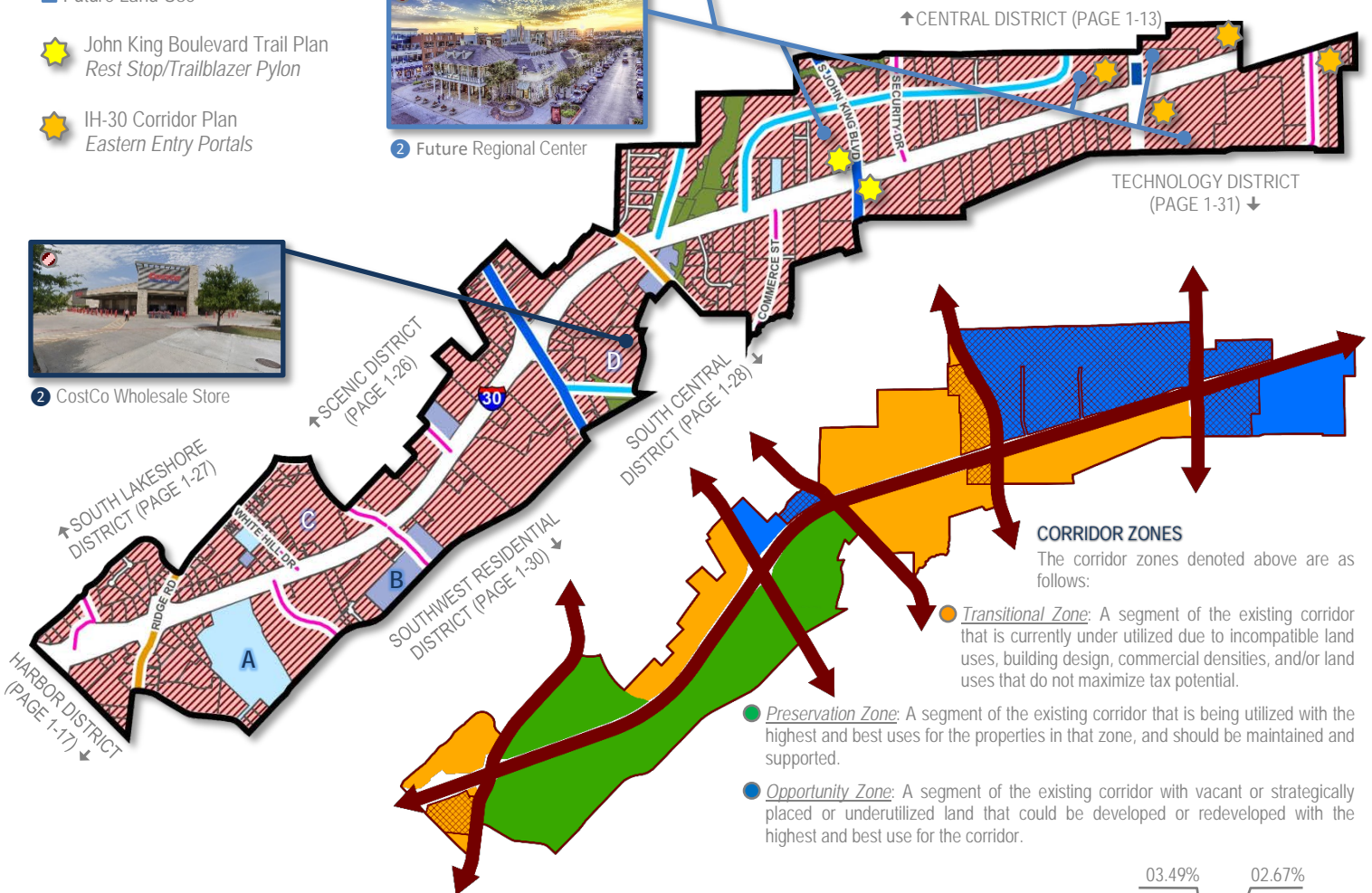


2 Costco Wholesale Store

## DISTRICT STRATEGIES

The IH-30 Corridor District will continue to be the City's primary retail corridor in the future. Based on this the following strategies should be employed:

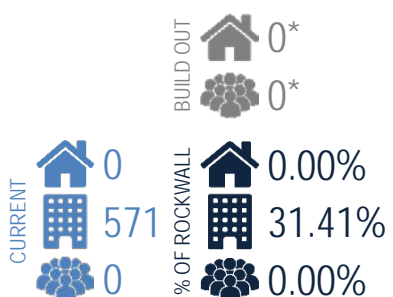
- 1 **Corridor Strategies.** The specific goals and policies contained in Section 02.01, *IH-30 Corridor Plan*, of Appendix 'B', *Corridor Plans*, of this Comprehensive Plan should be considered when reviewing new development within the IH-30 Corridor.
- 2 **Regional Center.** In accordance with the *IH-30 Corridor Plan*, a regional center should be located on each of the properties denoted in the red cross hatch (⊠) in the Corridor Zones map below. These regional centers should generally follow one (1) of the four (4) models identified in the *IH-30 Corridor Plan* (i.e. *Strip Retail Center, Mixed-Use Center, Town Center, or Regional Designation Center* models).
- 3 **Open Space.** Large commercial centers should incorporate green space or open space at the center of the development that can be used to provide amenity or break up large parking fields.
- 4 **John King Boulevard Trail Plan.** A ten (10) foot hike/bike trail should be incorporated along John King Boulevard with rest stops and signage as indicated in *Appendix 'B'* of this Comprehensive Plan.



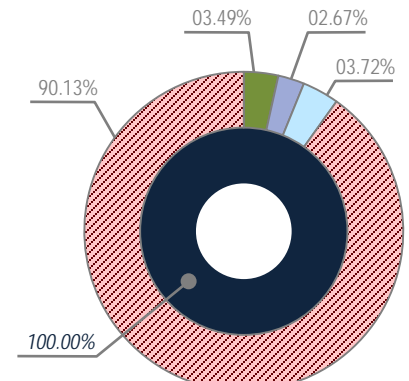
## CORRIDOR ZONES

The corridor zones denoted above are as follows:

- Transitional Zone:** A segment of the existing corridor that is currently under utilized due to incompatible land uses, building design, commercial densities, and/or land uses that do not maximize tax potential.
- Preservation Zone:** A segment of the existing corridor that is being utilized with the highest and best uses for the properties in that zone, and should be maintained and supported.
- Opportunity Zone:** A segment of the existing corridor with vacant or underutilized land that could be developed or redeveloped with the highest and best use for the corridor.



	MINOR COLLECTOR	
	M4U	
	M4D	
	P6D	
	TXDOT 4D	
	PARKS AND OPEN SPACE (OS)	37.03-ACRES
	PUBLIC (P)	28.31-ACRES
	QUASI-PUBLIC (QP)	39.49-ACRES
	SPECIAL COMMERCIAL CORRIDOR (SC)	957.15-ACRES
	COMMERCIAL	100.00%
	RESIDENTIAL	0.00%
	MIXED USE	0.00%



CITY OF ROCKWALL

ORDINANCE NO. 24-XX

**AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, CLOSING, ABANDONING AND VACATING THE DEDICATED PUBLIC RIGHT-OF-WAY FOR CONVEYOR STREET MORE SPECIFICALLY DESCRIBED IN EXHIBIT 'A' AND DEPICTED EXHIBIT 'B' OF THIS ORDINANCE AND CONVEYING THE RIGHT-OF-WAY TO THE ADJACENT PROPERTY OWNER; IDENTIFYING A MUNICIPAL PURPOSE; PROVIDING FOR AN EFFECTIVE DATE.**

**WHEREAS**, Subsection 311.007, *Closing of Street or Alley by Home-Rule Municipality*, of Chapter 311, *General Provisions Relating to Municipal Streets*, of the Texas Transportation Code grants a home-rule municipality the powers to vacate, abandon, or close a street or alleyway; and,

**WHEREAS**, Section 272.001(b) of the Texas Local Government Code provides that land -- *including streets or alleys* -- owned in fee or used by easement by a political subdivision of the state, may be conveyed, sold or exchanged for less than fair market value with one or more of the abutting property owners who own the underlying fee; and,

**WHEREAS**, the City of Rockwall currently incurs costs annually associated with the maintenance (*i.e. mowing*) of the dedicated public right-of-way for Conveyor Street -- *described in Exhibit 'A' and depicted in Exhibit 'B' of this ordinance* -- which is currently a public roadway; and,

**WHEREAS**, the City Council of the City of Rockwall has determined that the dedicated public right-of-way -- *described in Exhibit 'A' and depicted in Exhibit 'B' of this ordinance* -- is no longer needed for public purposes, and finds that it is in the best interest of the City to convey the roadway to the adjacent and abutting property owner; and,

**WHEREAS**, with proper notice to the public, a public hearing was held on February 20, 2024 at a meeting of the City Council of the City of Rockwall, during which all interested parties and citizens were allowed to appear and be heard; and,

**WHEREAS**, the City of Rockwall has determined that it is feasible and advantageous to abandon this City property subject to the terms and conditions set forth below.

**NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:**

**SECTION 1. PROPERTY.** The *Property* shall be as described in *Exhibit 'A'* and depicted in *Exhibit 'B'* of this ordinance, and shall be incorporated by reference herein.

**SECTION 2. QUITCLAIM.** Section 272.001(b) of the Texas Local Government Code allows the City the power to convey city-owned property at less than fair market value to the abutting property owners. The Mayor of the City of Rockwall or the City Manager, as the case may be, are authorized to quitclaim the *Property* described in *Section 1* hereof to the abutting property owner upon the approval of this ordinance.

**SECTION 3. LIMITATIONS.** The abandonment of the *Property* shall extend only to the public right, title and easement in and to the tracts of land described in *Exhibit 'A'* and depicted in *Exhibit 'B'* of this ordinance, and shall be construed only to that interest the governing body of the City may legally and

lawfully abandon.

**SECTION 4. MUNICIPAL PURPOSE.** The *Property* described in *Section 1*, save and except the municipal utility easements located thereon, is no longer needed for municipal purposes and it is in the public interest of the City, to abandon said described portions of the right-of-way as depicted in *Exhibit 'C'* to the adjacent and abutting property owners.

**SECTION 5. SCOPE.** That the abandonment provided for herein shall extend only to the public right, title and easement in and to the tracts of land described in *Section 1* of this ordinance, and shall be construed only to that interest the governing body of the City of Rockwall may legally and lawfully abandon.

**SECTION 6. EXCEPTIONS.** In addition to the express reservations provided for in *Section 1* hereof, the conveyance is made subject to any and all valid, conditions, easements, restrictions and the like, whether record or not in the real property records of Rockwall County Texas.

**SECTION 7. INCORPORATION OF RECITALS.** The City Council finds the recitals contained in the preamble to this *Ordinance* are true and correct and incorporates them as findings of fact.

**SECTION 8. SAVINGS CLAUSE.** If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

**SECTION 9. REPEALING ORDINANCES IN CONFLICT.** All ordinances or parts of ordinances in conflict herewith are hereby repealed to the extent of such conflict.

**SECTION 10. EFFECTIVE DATE.** This *Ordinance* shall be effective immediately following its passage and approval by the City Council.

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, THIS THE 7<sup>TH</sup> DAY OF OCTOBER, 2024.**

\_\_\_\_\_  
Trace Johannessen, *Mayor*

**ATTEST:**

\_\_\_\_\_  
Kristy Teague, *City Secretary*

**APPROVED AS TO FORM:**

\_\_\_\_\_  
Frank J. Garza, *City Attorney*

1<sup>st</sup> Reading: September 16, 2024

2<sup>nd</sup> Reading: October 7, 2024

DRAFT  
ORDINANCE  
09.10.2024

**Exhibit 'A'**  
*Legal Description*

**BEING** a tract of land situated in the E.M. Elliot Survey, Abstract No. 77, and the John Lockhart, Survey, Abstract No. 134, City of Rockwall, Rockwall County, Texas, and being a portion of Conveyors Street (60' wide public right-of-way) (Cabinet B, Slide 206, Plat Records, Rockwall County, Texas) and being more particularly described by metes and bounds as follows:

**BEGINNING** at a 5/8-inch iron rod with red plastic cap stamped "KHA" found for the northernmost northwest corner of Lot 1, Block B, Rockwall Commercial, an addition to the City of Rockwall, Texas, according to the plat thereof recorded in Instrument No. 2021000008470, said Plat Records, common to the north corner of a corner clip at the intersection of the southerly right-of-way line of Justin Road (85' wide public right-of-way) (Instrument No. 2021000008470, said Plat Records) and the easterly right-of-way line of said Conveyors Street;

**THENCE** South 43°16'40" West, with said corner clip, a distance of 42.43 feet to a 5/8-inch iron rod with red plastic cap stamped "KHA" found for the south corner of said corner clip;

**THENCE** with the common line of said Lot 1, Block B and said Conveyors Street the following courses and distances:

South 01°43'20" East, a distance of 9.59 feet to a 5/8-inch iron rod with red plastic cap stamped "KHA" found at the beginning of a tangent curve to the right with a radius of 530.00 feet, a central angle of 13°38'17", and a chord bearing and distance of South 05°05'50" West, 125.86 feet;

In a southerly direction, with said tangent curve to the right, an arc distance of 126.15 feet to a 5/8-inch iron rod with red plastic cap stamped "KHA" found at the beginning of a reverse curve to the left with a radius of 1,170.00 feet, a central angle of 15°08'16", and a chord bearing and distance of South 04°20'45" West, 308.22 feet;

In a southerly direction, with said reverse curve to the left, an arc distance of 309.12 feet to a 5/8-inch iron rod with red plastic cap stamped "KHA" found for corner;

South 03°13'23" East, passing at a distance of 478.23 feet a 5/8-inch iron rod with red plastic cap stamped "KHA" found for the westernmost southwest corner of said Lot 1, Block B, and continuing along the same course and with the common line of Lot 1, Block D, Rockwall Commercial Park, an addition to the City of Rockwall, Texas, according to the plat thereof recorded in Cabinet B, Slide 206, said Plat Records, for a total distance of 562.44 feet to a 5/8-inch iron rod with red plastic cap stamped "KHA" set for corner;

**THENCE** South 86°46'37" West, departing said common line and crossing said Conveyors Street, a distance of 60.00 feet to a 5/8-inch iron rod with red plastic cap stamped "KHA" found for the southeast corner of Lot 1R, Block C, Rockwall Commercial, an addition to the City of Rockwall, Texas, according to the plat thereof recorded in Instrument No. 2021000008470, said Plat Records, same being the northeast corner of a tract of land described in a deed to Donna Cullins Pritchard and Kimberly Cullins Collichio, recorded in Volume 7346, Page 158, Real Property Records, Rockwall County, Texas;

**THENCE** with the common line of said Lot 1R, Block C and said Conveyors Street the following courses and distances:

North 03°13'23" West, a distance of 562.44 feet to a 5/8-inch iron rod with red plastic cap stamped "KHA" found at the beginning of a tangent curve to the right with a radius of 1,230.00 feet, a central angle of 15°08'16", and a chord bearing and distance of North 04°20'47" East, 324.03 feet;

In a northerly direction, with said tangent curve to the right, an arc distance of 324.97 feet to a 5/8-inch iron rod with red plastic cap stamped "KHA" found at the beginning of a reverse curve to the left with a radius of 470.00 feet, a central angle of 13°38'17", and a chord bearing and distance of North 05°05'49" East, 111.61 feet;

In a northerly direction, with said reverse curve to the left, an arc distance of 111.87 feet to a 5/8-inch iron rod with red plastic cap stamped "KHA" found for corner;

**Exhibit 'A'**  
*Legal Description*

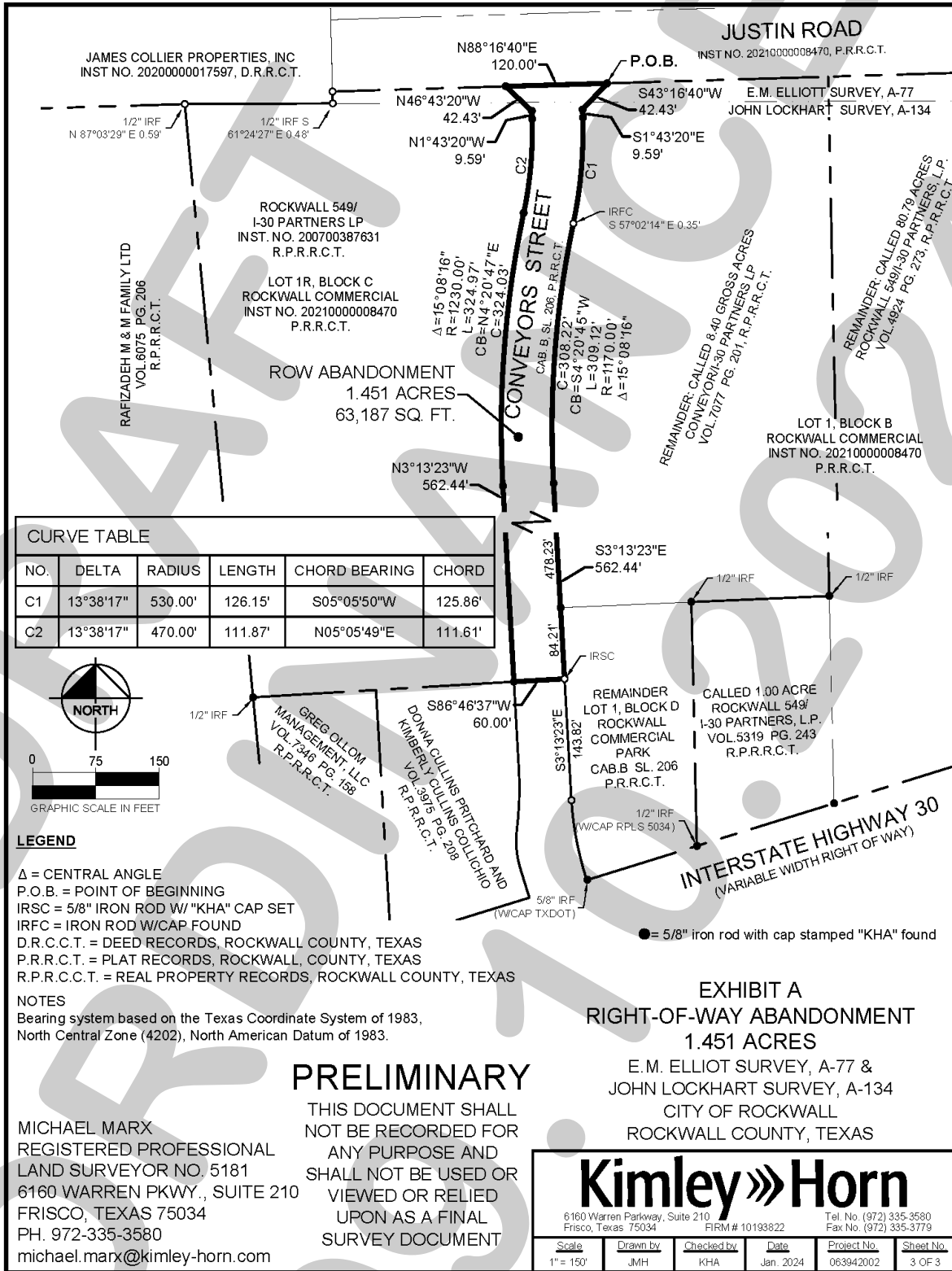
North 01°43'20" West, a distance of 9.59 feet to a 5/8-inch iron rod with red plastic cap stamped "KHA" found for the easternmost northeast corner of said Lot 1R, Block C, common to the south corner of a corner clip at the intersection of the westerly right-of-way line of said Lot 1R, Block C and the southerly right-of-way line of said Justin Road;

**THENCE** North 46°43'20" West, along said corner clip, a distance of 42.43 feet to a 5/8-inch iron rod with red plastic cap stamped "KHA" found for the northernmost northeast corner of said Lot 1R, Block C, common to the north corner of said corner clip;

**THENCE** North 88°16'40" East, crossing said Conveyors Street, a distance of 120.00 feet to the **POINT OF BEGINNING** and containing 63,187 square feet or 1.451 acres of land, more or less.

DRAFT  
ORDINANCE  
09.10.2024

**Exhibit 'B'**  
**Dedicated Public Right-of-Way to be  
 Abandoned**



HOEFNER, JOHN 1/17/2024 11:32 AM K:\FRI\_SURVEY\063942002-ROCKWALL COMMERCIAL BLOCK B LOT 1 - ROCKWALL\DWG\063942002 CONVEYORS ABND EX.DWG

CITY OF ROCKWALL

ORDINANCE NO. 24-XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, AS HERETOFORE AMENDED, SO AS TO CHANGE THE ZONING FROM A COMMERCIAL (C) DISTRICT TO PLANNED DEVELOPMENT DISTRICT XX (PD-XX) FOR COMMERCIAL (C) DISTRICT LAND USES ON THE SUBJECT PROPERTY, BEING A 67.475-ACRE TRACT OF LAND IDENTIFIED AS LOT 1, BLOCK B; LOT 1R, BLOCK C; AND LOT 1, BLOCK D, ROCKWALL COMMERCIAL ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AND BEING MORE SPECIFICALLY DESCRIBED IN EXHIBIT 'A' AND FURTHER DEPICTED IN EXHIBIT 'B' OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

**WHEREAS**, the City has received a request from William S. Dahlstrom of Jackson Walker, LLP on behalf of Ronald P. Berlin of Rockwall 549/I-30 Partners, LP and Conveyor I30 Partners, LP for the approval of a *Zoning Change* from a Commercial (C) District to Planned Development District XX (PD-XX) for Commercial (C) District land uses on a 67.059-acre tract of land identified as Lot 1, Block B; Lot 1R, Block C; and Lot 1, Block D, Rockwall Commercial Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the IH-30 Overlay (IH-30 OV) District, generally located at the northwest corner of Stodghill Road (FM-3549) and the IH-30 Frontage Road, and more fully described in *Exhibit 'A'* and depicted in *Exhibit 'B'* of this ordinance, which hereinafter shall be referred to as the *Subject Property* and incorporated by reference herein; and

**WHEREAS**, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally and to all persons interested in and situated in the affected area, and in the vicinity thereof, and the governing body in the exercise of its legislative discretion, has concluded that the Unified Development Code [*Ordinance No. 20-02*] should be amended as follows:

**NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:**

**SECTION 1.** That the *Subject Property* shall be used only in the manner and for the purposes authorized by this Planned Development District Ordinance and the Unified Development Code [*Ordinance No. 20-02*] of the City of Rockwall as heretofore amended, as amended herein by granting this zoning change, and as may be amended in the future;

**SECTION 2.** That development of the *Subject Property* shall generally be in accordance with



the *Subdistrict Plan*, depicted in *Exhibit 'C'* of this ordinance, attached hereto and incorporated herein by reference as *Exhibit 'C'*, which is deemed hereby to be a condition of approval of the amended zoning classification for the *Subject Property*;

**SECTION 3.** That development of the *Subject Property* shall generally be in accordance with the *Overall Concept Plan*, depicted in *Exhibit 'D'* of this ordinance, attached hereto and incorporated herein by reference as *Exhibit 'D'*, which is deemed hereby to be a condition of approval of the amended zoning classification for the *Subject Property*;

**SECTION 4.** That development of the *Subject Property* shall generally be in accordance with the *Phasing Plan*, depicted in *Exhibit 'E'* of this ordinance, attached hereto and incorporated herein by reference as *Exhibit 'E'*, which is deemed hereby to be a condition of approval of the amended zoning classification for the *Subject Property*;

**SECTION 5.** That development of the *Subject Property* shall generally be in accordance with the *Conceptual Building Elevations*, depicted in *Exhibit 'F'* of this ordinance, attached hereto and incorporated herein by reference as *Exhibit 'F'*, which is deemed hereby to be a condition of approval of the amended zoning classification for the *Subject Property*;

**SECTION 6.** That development of the *Subject Property* shall generally be in accordance with the *Development Standards*, outlined in *Exhibit 'G'* of this ordinance, attached hereto and incorporated herein by reference as *Exhibit 'G'*, which is deemed hereby to be a condition of approval of the amended zoning classification for the *Subject Property*;

**SECTION 7.** That the official zoning map of the City be corrected to reflect the changes in the zoning described herein;

**SECTION 8.** That any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offense and each and every day such offense shall continue shall be deemed to constitute a separate offense;

**SECTION 9.** That if any section, paragraph, or provision of this ordinance or the application of that section, paragraph, or provision to any person, firm, corporation or situation is for any reason judged invalid, the adjudication shall not affect any other section, paragraph, or provision of this ordinance or the application of any other section, paragraph or provision to any other person, firm, corporation or situation, nor shall adjudication affect any other section, paragraph, or provision of the Unified Development Code, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions for this ordinance are declared to be severable;

**SECTION 10.** The standards in this ordinance shall control in the event of a conflict between this ordinance and any provision of the Unified Development Code or any provision of the City Code, ordinance, resolution, rule, regulation, or procedure that provides a specific standard that is different from and inconsistent with this ordinance. References to zoning district regulations or other standards in the Unified Development Code (*including references to the Unified Development Code [UDC]*), and references to overlay districts, in this ordinance or any of the Exhibits hereto are those in effect on the date this ordinance was passed and approved by the City Council of the City of Rockwall, Texas;

**SECTION 11.** That this ordinance shall take effect immediately from and after its passage;

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,  
THIS THE 7<sup>TH</sup> DAY OF OCTOBER, 2024.

\_\_\_\_\_  
Trace Johannessen, *Mayor*

**ATTEST:**

\_\_\_\_\_  
Kristy Teague, *City Secretary*

**APPROVED AS TO FORM:**

\_\_\_\_\_  
Frank J. Garza, *City Attorney*

1<sup>st</sup> Reading: September 16, 2024

2<sup>nd</sup> Reading: October 7, 2024

**Exhibit 'A'**  
**Legal Description**

*BEING* a tract of land situated in the E.M. ELLIOTT SURVEY, ABSTRACT NO. 77 and the JOHN LOCKHART SURVEY, ABSTRACT NO. 134, City of Rockwall, Rockwall County, Texas and being all of Lot 1, Block B, Rockwall Commercial, an addition to the City of Rockwall, Rockwall County, Texas, according to the plat thereof recorded in County Clerk's File No. 20210000008470, Plat Records, Rockwall County, Texas (P.R.R.C.T.), a portion of Lot 1R, Block C, Rockwall Commercial, an addition to the City of Rockwall, Rockwall County, Texas, according to the plat thereof recorded in County Clerk's File No. 20210000008470, P.R.R.C.T., and the remainder of Lot 1, Block D, Rockwall Commercial Park, an addition to the City of Rockwall, Rockwall County, Texas, according to the plat thereof recorded in Cabinet B, Slide 206, P.R.R.C.T., and a portion of Conveyors Street, a 60' right-of-way, and being more particularly described as follows:

*BEGINNING* at a 5/8-inch iron rod with red plastic cap stamped "KHA" found for the most Southerly Southeast corner of said Lot 1, Block B, said iron rod being situated in the North right-of-way line of Interstate Highway 30, a variable width right-of-way, and the West right-of-way line of F.M. Highway 3549, a variable width right-of-way, and also being the Southeast corner of a corner clip;

*THENCE*, departing the West right-of way line of said F.M. Highway 3549 and said corner clip, and along the South line of said Lot 1, Block B, and the North right-of-way line of said Interstate Highway 30, the following:

South 72 deg 46 min 18 sec West, a distance of 384.46 feet to a 5/8" iron rod found for corner;

South 64 deg 14 min 27 sec West, a distance of 202.24 feet to a point for corner from which a 5/8-inch iron rod with pink plastic cap stamped "TXDOT" found bears South 77 deg 02 min 27 sec West, a distance of 0.68 feet;

South 72 deg 46 min 18 sec West, a distance of 1,507.74 feet to a 5/8-inch iron rod with red plastic cap stamped "KHA" found for the most Southerly Southwest corner of said Lot 1, Block B, and the Southeast corner of the remainder of said Lot 1, Block D;

*THENCE* South 72 deg 43 min 43 sec West, along the South line of the remainder of said Lot 1, Block D, and continuing along the North right-of-way line of said Interstate Highway 30, a distance of 169.80 feet to a 1/2-inch iron rod with yellow plastic cap stamped "RPLS5034" found for corner;

*THENCE* South 72 deg 46 min 08 sec West, continuing along the South line of the remainder of said Lot 1, Block D, and the North right-of-way line of said Interstate Highway 30, a distance of 136.39 feet to a 5/8-inch iron rod with pink plastic cap stamped "TXDOT" found for corner, said iron rod being the Southwest corner of the remainder of said Lot 1, Block D, and being the beginning of a non-tangent curve to the right having a radius of 397.84 feet, a central angle of 13 deg 52 min 54 sec, a chord bearing of North 10 deg 51 min 14 sec West, and a chord length of 96.15 feet;

*THENCE* along said non-tangent curve to the right, departing the South line of the remainder of said Lot 1, Block D, and the North right-of-way line of said Interstate Highway 30, and along the West line of the remainder of said Lot 1, Block D, and the East right-of-way line of said Conveyors Street, an arc distance of 96.39 feet to a point for corner;

*THENCE* North 03 deg 13 min 23 sec West, continuing along the West line of the remainder of said Lot 1, Block D, and the East right-of-way line of said Conveyors Street, a distance of 144.04 feet to a point for corner;

*THENCE* South 86 deg 34 min 32 sec West, departing the West line of the remainder of said Lot 1, Block D, and the East right-of-way line of said Conveyors Street, and crossing the right-of-way of said Conveyors Street, a distance of 60.17 feet to a 5/8-inch iron rod with red plastic cap stamped "KHA" found for corner, said iron rod being the Southeast corner of said Lot 1R, Block C, and being situated in the West right-of-way line of said Conveyors Street;

**Exhibit 'A'**  
**Legal Description**

*THENCE* South 86 deg 34 min 32 sec West, departing the West right-of-way line of said Conveyors Street, and along the common line of said Lot 1R, Block C, and Lot 1, Block C, of said Rockwall Commercial Park, a distance of 309.03 feet to a point for corner from which a 1/2-inch iron rod found bears South 74 deg 26 min 07 sec East, a distance of 0.62 feet;

*THENCE* North 05 deg 29 min 52 sec West, departing said common line and along the common line of said Lot 1R, Block C, and a tract of land described in deed to Rockwall 549/I-30 Partners LP, recorded in Instrument Number 200700387631, Official Public Records, Rockwall County, Texas (O.P.R.R.C.T.), a distance of 1,036.76 feet to a point for corner from which a 1/2-inch iron rod found bears North 78 deg 37 min 38 sec East, a distance of 0.42 feet;

*THENCE* North 89 deg 44 min 47 sec East, along the common line of said Lot 1R, Block C, and a tract of land as described in deed to Janis G. Dorris & Nelda L. Lacuesta, recorded in Volume 850, Page 85, O.P.R.R.C.T., a distance of 175.03 feet to a point for corner from which a 1/2-inch iron rod found bears South 49 deg 13 min 08 sec East, a distance of 0.47 feet;

*THENCE* North 01 deg 22 min 01 sec West, continuing along said common line, a distance of 14.02 feet to a 5/8-inch iron rod with red plastic cap stamped "KHA" found for a Northeast corner of said Lot 1R, Block C, and a Southeast corner of said Janis G. Dorris & Nelda L. Lacuesta tract;

*THENCE* North 88 deg 16 min 40 sec East, departing said common line and along the North line of said Lot 1R, Block C, and the South right-of-way line of Justin Road, an 85- foot right-of-way, a distance of 204.88 feet to a 5/8-inch iron rod with red plastic cap stamped "KHA" found for the most Northerly corner of said Lot 1R, Block C;

*THENCE* North 88 deg 16 min 27 sec East, departing the North line of said Lot 1R, Block C, and over and across the right-of-way of said Justin Road and said Conveyors Street, a distance of 120.17 feet to a 5/8-inch iron rod with red plastic cap stamped "KHA" found for a Northwest corner of said Lot 1, Block B;

*THENCE* along the North line of said Lot 1, Block B, and the South right-of-way line of said Justin Road, the following:

North 88 deg 16 min 40 sec East, a distance of 311.50 feet to a 1/2-inch iron rod with red plastic cap stamped "W.A.I. 5714" set for corner;

North 88 deg 25 min 20 sec East, a distance of 281.12 feet to a 1/2-inch iron rod with red plastic cap stamped "W.A.I. 5714" set for corner and being the beginning of a curve to the left having a radius of 1,592.50 feet, a central angle of 17 deg 40 min 38 sec, a chord bearing of North 79 deg 26 min 21 sec

East, and a chord length of 489.38 feet;

Along said curve to the left, an arc distance of 491.33 feet to a 1/2-inch iron rod with red plastic cap stamped "W.A.I. 5714" set for corner and being the beginning of a curve to the right having a radius of 3,979.40 feet, a central angle of 18 deg 16 min 32 sec, a chord bearing of North 79 deg 44 min 18 sec

East, and a chord length of 1,263.93 feet;

Along said curve to the right, an arc distance of 1,269.30 feet to a point for corner from which a 5/8-inch iron rod with red plastic cap stamped "KHA" found bears North 11 deg 52 min 09 sec East, a distance of 0.84 feet;

North 88 deg 52 min 34 sec East, a distance of 49.83 feet to a point for corner from which a 5/8-inch iron rod with red plastic cap stamped "KHA" found bears North 14 deg 09 min 55 sec East, a distance of 0.76 feet, said point being the most Northerly Northeast corner of said Lot 1, Block B,

**Exhibit 'A'**  
**Legal Description**

and the Northeast corner of a corner clip, and being situated in the West right-of-way line of said F.M. Highway 3549;

*THENCE* South 46 deg 07 min 44 sec East, continuing along the North line of said Lot 1, Block B, and the South right-of-way line of said Justin Road, and along the West right-of-way line of said F.M. Highway 3549, and said corner clip, a distance of 42.43 feet to a point for corner from which a 5/8-inch iron rod with red plastic cap stamped "KHA" found bears North 11 deg 58 min 22 sec East, a distance of 0.71 feet, said point being a North corner of said Lot 1, Block B, and the Southeast corner of said corner clip;

*THENCE*, departing the South right-of-way line of said Justin Road, the North line of said Lot 1, Block B, and said corner clip, continuing along the West right-of-way line of said F.M. Highway 3549 and along the East line of said Lot 1, Block B, the following:

South 01 deg 13 min 54 sec East, a distance of 165.08 feet to a 1/2-inch iron rod found for corner;

South 01 deg 26 min 27 sec West, a distance of 113.61 feet to a 5/8-inch iron rod found for corner;

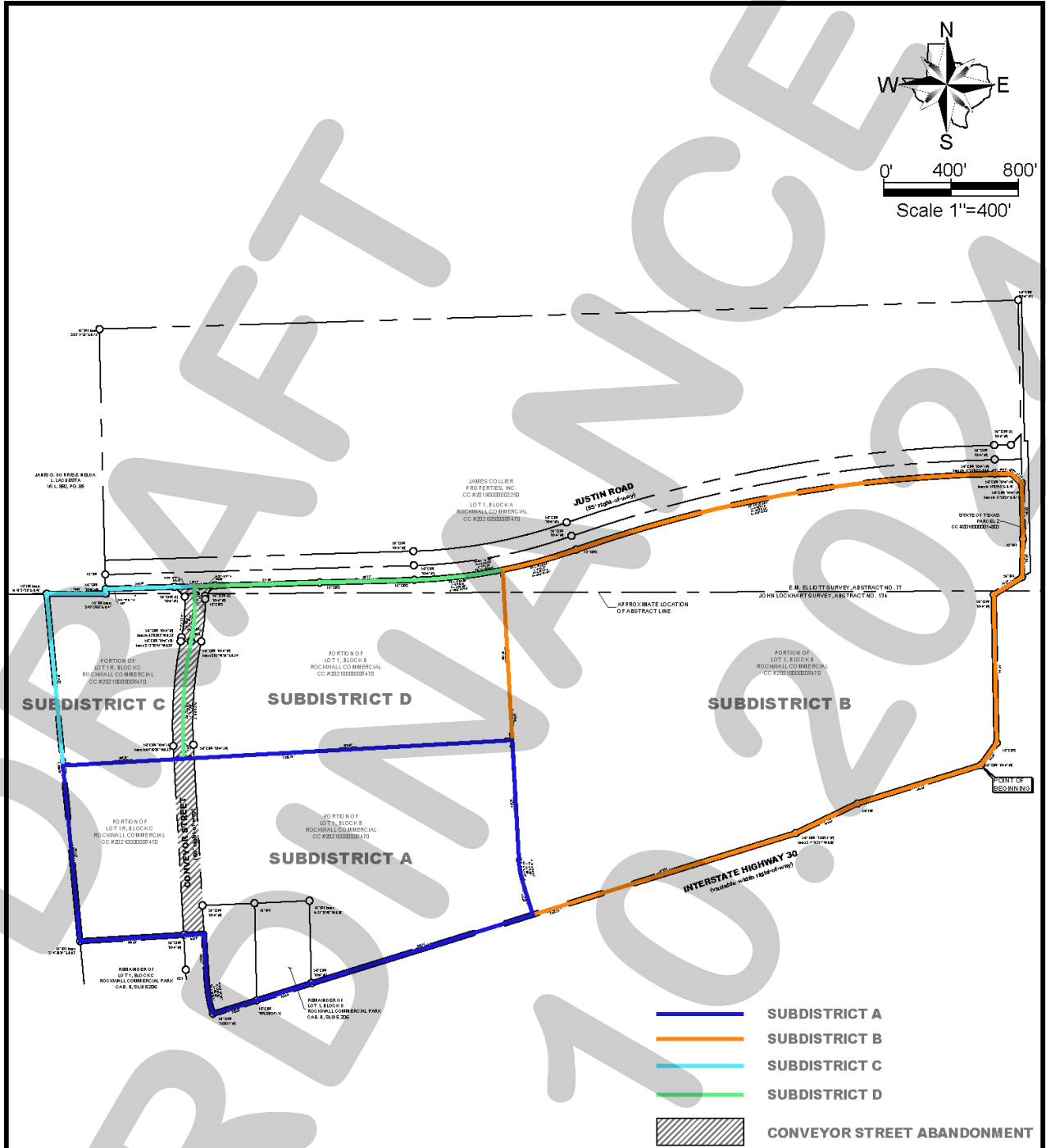
South 58 deg 12 min 56 sec West, a distance of 98.69 feet to a 5/8-inch iron rod with red plastic cap stamped "KHA" found for corner;

South 01 deg 07 min 09 sec East, a distance of 441.34 feet to a 1/2-inch iron rod with red plastic cap stamped "W.A.I. 5714" for corner, said iron rod being situated in the North right-of-way line of said Interstate Highway 30, and being the Northeast corner of a corner clip;

*THENCE* South 35 deg 33 min 35 sec West, continuing along the West right-of-way line of said F.M. Highway 3549, and along said corner clip, a distance of 80.25 feet to the *POINT OF BEGINNING*. Containing 67.475 acres or 2,939,199 square feet of land, more or less.

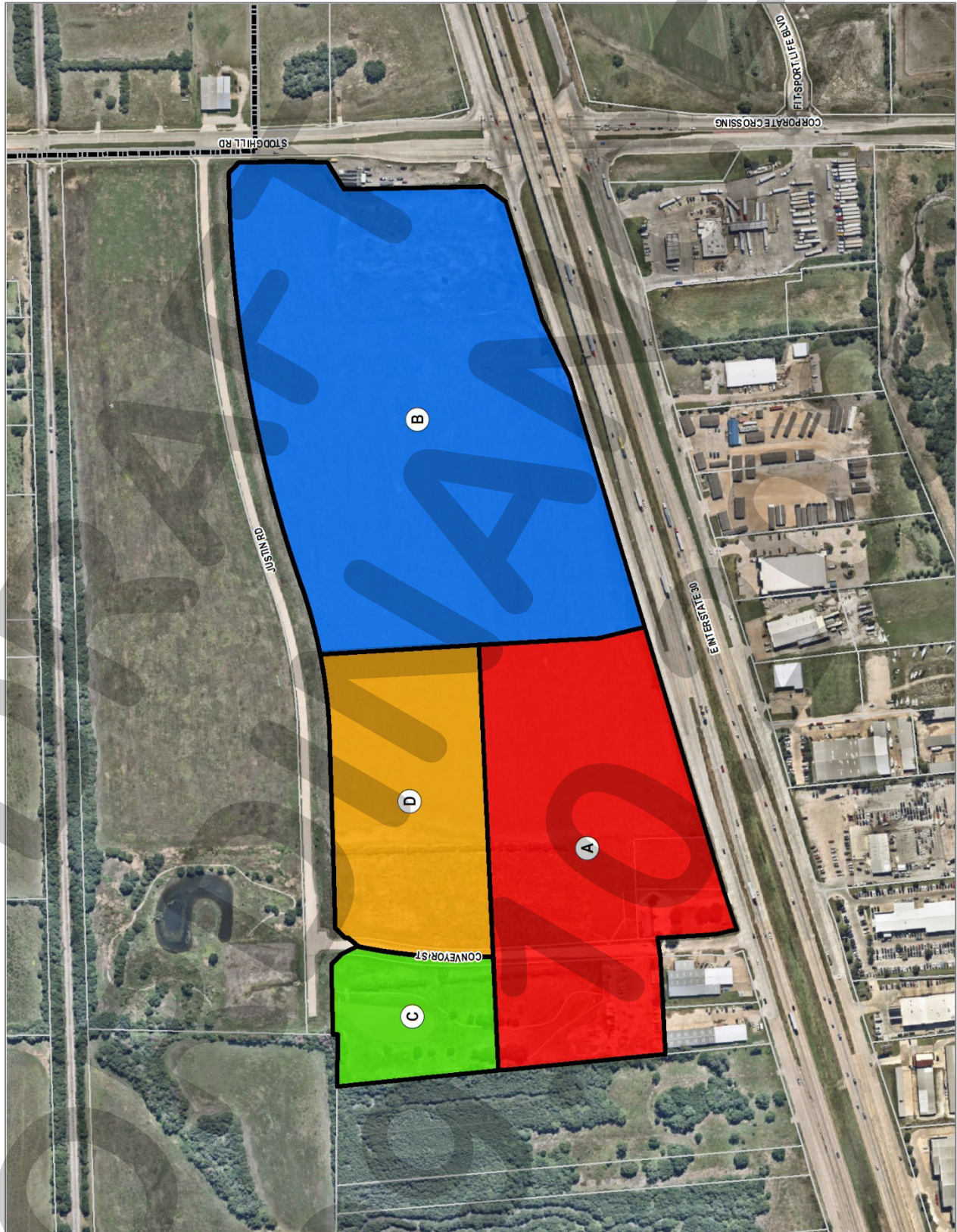
Bearings described herein are based upon an on-the-ground Survey performed in the field on the 25th day of April, 2024, utilizing a G.P.S. bearing related to the Texas Coordinate System, North Texas Central Zone (4202), NAD 83, grid values from the GeoShack VRS network.

Exhibit 'B'  
Survey



<p><b>Winkelmann &amp; Associates, Inc.</b> CONSULTING CIVIL ENGINEERS ■ SURVEYORS 4750 HILLCREST PLAZA DRIVE, SUITE 210 DALLAS, TEXAS 75230 Texas Engineers Registration No. 09 Texas Surveyors No. 10086600 Expires 12-31-2024 COPYRIGHT © 2024, Winkelmann &amp; Associates, Inc.</p>	<p><b>EXHIBIT B SURVEY</b></p>	<p><b>SHEET 1 OF 1</b></p>
	<p>PROPERTY BOUNDARY 67.475 ACRES (2,939,199 SQ. FT.)</p>	
<p>Scale : 1:400 Date : 08.14.24 Dwg. File : 63406-Exhibit B Project No. : 63406</p>		

**Exhibit 'C'**  
**Subdistrict Plan**



**Exhibit 'D'**  
**Overall Concept Plan**





**Exhibit 'E'**  
**Phasing Plan**

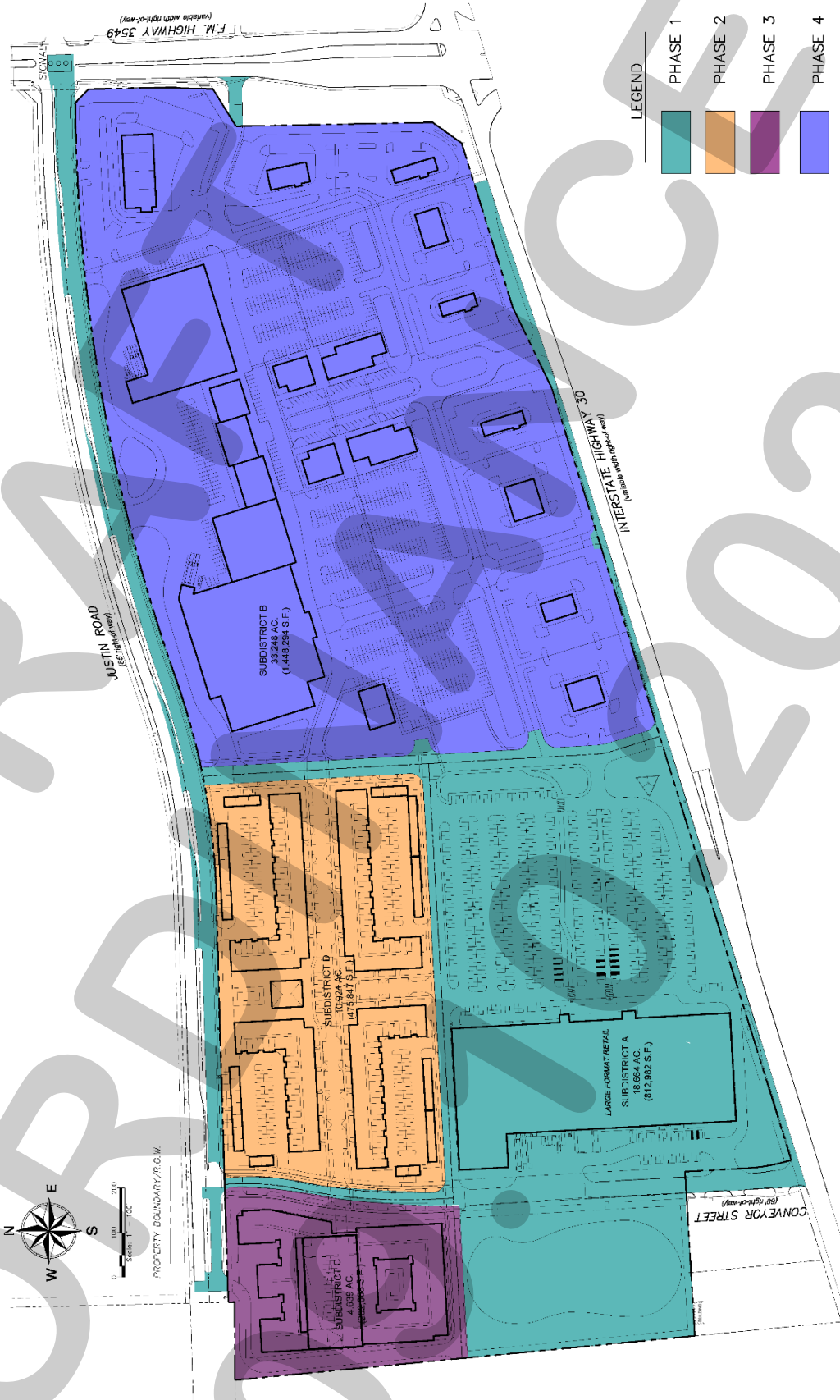
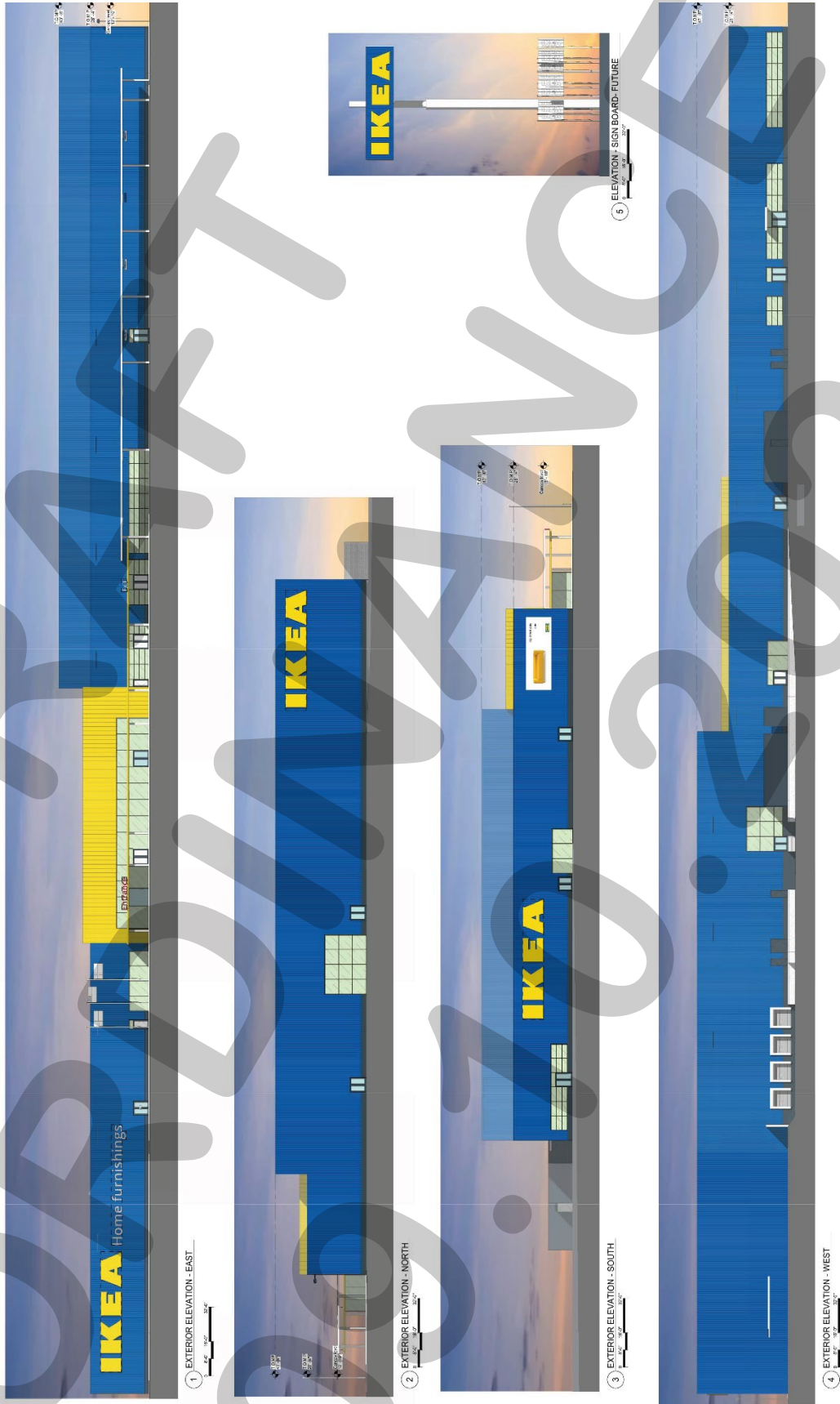


Exhibit 'F'  
Conceptual Building Elevations | Subdistrict A



**Exhibit 'F'**  
Conceptual Building Elevations | Subdistrict C



**Exhibit 'F'**  
Conceptual Building Elevations | Subdistrict C



DRAFT  
09.19.2024

**Exhibit 'F'**  
Conceptual Building Elevations | Subdistrict D



Exhibit 'F'  
Conceptual Building Elevations | Subdistrict D



**EAST STREET FACING**  
SCALE: 1/16" = 1'-0"

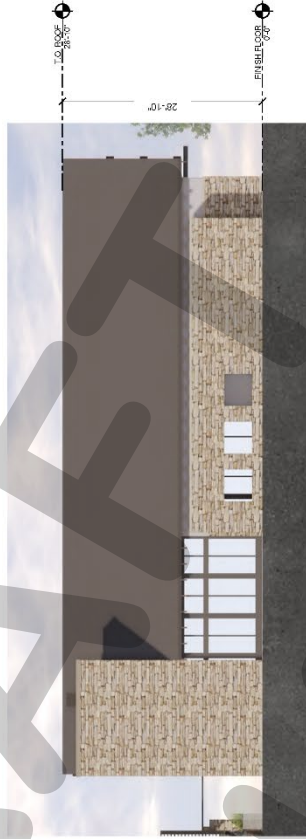


**WEST INTERNAL PARKING COURT**  
SCALE: 1/16" = 1'-0"

**Exhibit 'F'**  
**Conceptual Building Elevations | Subdistrict D**



**Exhibit 'F'**  
**Conceptual Building Elevations | Subdistrict D**



**EAST**  
SCALE: 1/16" = 1'-0"



**WEST**  
SCALE: 1/16" = 1'-0"



**NORTH POOL FACING**  
SCALE: 1/16" = 1'-0"



**SOUTH STREET FACING**  
SCALE: 1/16" = 1'-0"



**Exhibit 'G'**  
**Development Standards**

**(A) ESTABLISHMENT AND INTENT OF THE SUBDISTRICTS**

The *Subject Property* shall be divided into four (4) subdistricts as depicted on the *Subdistrict Plan*, which is contained in *Exhibit 'C'* of this ordinance. The intent of each of the established *Subdistricts* is as follows:

- (1) Subdistrict A. The intent of *Subdistrict A* is to provide for a single, *Large Format Retailer*.
- (2) Subdistrict B, C, & D. The intent of *Subdistricts B, C, & D* is to provide a *Regional Mixed-Use Development* that incorporates residential, retail, restaurant, and/or entertainment land uses in conformance with the vision established in the *IH-30 Corridor Plan* contained in the *OURHometown Vision 2040 Comprehensive Plan*. Specifically, the intent of each of these *Subdistricts* is as follows:
  - (a) Subdistrict B. The intent of *Subdistrict B* is to provide a *Regional Commercial/Retail and Entertainment Center* that consists of retail, restaurant, and/or entertainment land uses in conformance with the vision established in the *IH-30 Corridor Plan* contained in the *OURHometown Vision 2040 Comprehensive Plan*.
  - (b) Subdistrict C. The intent of *Subdistrict C* is to provide an *Urban Residential* style condominium building that provides residential housing as part of the *Regional Mixed-Use Development*.
  - (c) Subdistrict D. The intent of *Subdistrict D* is to provide a *Low-Rise Residential* style condominium community that provides another style of residential housing as part of the *Regional Mixed-Use Development*.

**(B) PROCESSES FOR EACH SUBDISTRICT**

- (1) Subdistrict A. *Subdistrict A* shall be developed in general conformance with the *Overall Concept Plan* contained in *Exhibit 'D'* of this ordinance, and the development standards contained in *Subsections (C) & (D)* of this ordinance. Prior to the issuance of a *Building Permit* for any structure in *Subdistrict A*, a *PD Site Plan -- that conforms to the requirements of this Planned Development District ordinance and the Unified Development Code (UDC) --* shall be submitted and approved in accordance with the requirements of Article 11, *Development Application Review Procedures*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*]. A *PD Development Plan* shall not be required for development in *Subdistrict A*, as shown on the *Subdistrict Plan* contained in *Exhibit 'C'* of this ordinance.
- (2) Subdistrict B. *Subdistrict B* shall be developed in general conformance with the *Overall Concept Plan* contained in *Exhibit 'D'* of this ordinance, and the development standards contained in *Subsections (C) & (E)* of this ordinance. Prior to the issuance of a *Building Permit* for any structure in *Subdistrict B*, a *PD Development Plan* and *PD Site Plan* shall be submitted and approved in accordance with the requirements of Article 10, *Planned Development District Regulations*, and Article 11, *Development Application Review Procedures*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*], and in conformance with the development standards contained in this Planned Development District ordinance.
- (3) Subdistrict C. *Subdistrict C* shall be developed in general conformance with the *Overall*

**Exhibit 'G'**  
**Development Standards**

*Concept Plan* contained in *Exhibit 'D'* of this ordinance, and the development standards contained in *Subsections (C) & (F)* of this ordinance. Prior to the issuance of a *Building Permit* for any structure in *Subdistrict C*, a *PD Site Plan* -- that conforms to the requirements of this *Planned Development District ordinance and the Unified Development Code (UDC)* -- shall be submitted and approved in accordance with the requirements of Article 11, *Development Application Review Procedures*, of the Unified Development Code (UDC) [Ordinance No. 20-02]. A *PD Development Plan* shall not be required for development in *Subdistrict C*, as shown on the *Subdistrict Plan* contained in *Exhibit 'C'* of this ordinance.

(4) *Subdistrict D*. *Subdistrict D* shall be developed in general conformance with the *Overall Concept Plan* contained in *Exhibit 'D'* of this ordinance, and the development standards contained in *Subsections (C) & (G)* of this ordinance. Prior to the issuance of a *Building Permit* for any structure in *Subdistrict D*, a *PD Site Plan* -- that conforms to the requirements of this *Planned Development District ordinance and the Unified Development Code (UDC)* -- shall be submitted and approved in accordance with the requirements of Article 11, *Development Application Review Procedures*, of the Unified Development Code (UDC) [Ordinance No. 20-02]. A *PD Development Plan* shall not be required for development in *Subdistrict D*, as shown on the *Subdistrict Plan* contained in *Exhibit 'C'* of this ordinance.

(5) *PD Site Plans*. If a *PD Site Plan* is submitted that does *not* meet the intent of this *Planned Development District Ordinance*, the Director of Planning and Zoning shall prepare a recommendation outlining how the proposed *PD Site Plan* fails to meet the intent, and bring the *PD Site Plan* and recommendation to the Planning and Zoning Commission for action. Should the Planning and Zoning Commission determine that the *PD Site Plan* does meet the intent of this ordinance, the *PD Site Plan* may be approved in accordance with the procedures of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) [Ordinance No. 20-02] and with the requirements of this ordinance; however, should the Planning and Zoning Commission determine that the *PD Site Plan* does *not* meet the intent of this ordinance, the Planning and Zoning Commission shall deny the *PD Site Plan* and the applicant shall be required to submit a *PD Development Plan* in accordance with Article 10, *Planned Development Regulations*, of the Unified Development Code (UDC) [Ordinance No. 20-02] and this ordinance.

**(C) GENERAL STANDARDS.**

The following general standards shall apply for all *Subdistricts* as depicted on the *Subdistrict Plan* contained in *Exhibit 'C'* of this ordinance:

(1) *Development Standards*. Unless otherwise stipulated by this *Planned Development District*, all property situated within any *Subdistrict* shall be subject to the development standards stipulated by the *General Overlay District Standards* as outlined in Section 06.02, *General Overlay District Standards*, of Article 5, *Development Standards*, of the Unified Development Code (UDC), as heretofore amended, as amended herein by granting this zoning change, and as maybe amended in the future.

(2) *Landscape Buffers*. All landscape buffers shall be provided as follows:

(a) *Landscape Buffer Adjacent to the IH-30 Frontage Road*. A minimum of a 20-foot

**Exhibit 'G'**  
**Development Standards**

landscape buffer shall be provided along the frontage of the IH-30 Frontage Road (*outside of and beyond any required right-of-way*), and shall incorporate ground cover, a built-up undulating berm, and shrubbery along the entire length of the frontage. Berms and shrubbery shall have a minimum height 30-inches and maybe non-continuous and undulating. Portions of an access drive may encroach within the landscape buffer in areas depicted on the *Overall Concept Plan* contained in *Exhibit 'D'* of this ordinance. In addition, three (3) canopy trees and four (4) accent trees shall be planted per 100-linear feet of frontage. A meandering/curvilinear six (6) foot sidewalk/trail shall be constructed within the 20-foot landscape buffer.

- (b) Landscape Buffer Adjacent to Stodghill Road (FM-3549). A minimum of a 20-foot landscape buffer shall be provided along the frontage of the Stodghill Road (*outside of and beyond any required right-of-way*), and shall incorporate ground cover, a built-up undulating berm, and shrubbery along the entire length of the frontage. Berms and shrubbery shall have a minimum height 30-inches and maybe non-continuous and undulating. In addition, three (3) canopy trees and four (4) accent trees shall be planted per 100-linear feet of frontage. A five (5) foot sidewalk shall be constructed within the 20-foot landscape buffer.
- (c) Landscape Buffer Adjacent to Justin Road. A minimum of a ten (10) foot landscape buffer shall be provided along the frontage of Justin Road (*outside of and beyond any required right-of-way*), and shall incorporate ground cover and shrubbery along the entire length of the frontage. In addition, one (1) canopy tree and one (1) accent tree shall be planted per 50-linear feet of frontage. An eight (8) foot trail shall be constructed within the ten (10) foot landscape buffer.
- (d) Landscape Buffer Adjacent to Conveyor Street. A minimum of a ten (10) foot landscape buffer shall be provided along the frontage of Conveyor Street (*outside of and beyond any required right-of-way*), and shall incorporate ground cover, a built-up undulating berm, and shrubbery along the entire length of the frontage. Berms and shrubbery may be non-continuous and undulating. In addition, one (1) canopy tree and one (1) accent tree shall be planted per 50-linear feet of frontage. A five (5) foot trail shall be constructed within the ten (10) foot landscape buffer.
- (3) Open Space. A minimum of 13.50% of the gross land area (*i.e. a minimum of 9.1091-acres*) within the entire Planned Development District shall be devoted to public and private open space. Detention and retention areas, and landscape/open space areas greater than or equal to 20-feet in width may be counted towards the open space requirement. Open space may be satisfied by either public, private, or a combination of public and private open space.
- (4) Gateway/Entry Portal Sign. One (1) *Gateway/Entry Portal Sign* shall be incorporated into the design of *Subdistrict B* and be constructed in the location shown on the *Overall Concept Plan* contained in *Exhibit 'D'* of this ordinance. This sign may be a maximum of 120-feet in height. The *Gateway/Entry Portal Sign* design shall be reviewed by the Architectural Review Board (ARB) in conjunction with the *PD Development Plan* for *Subdistrict B* and approved by the City Council as part of this process. The proposed *Gateway/Entry Portal Sign* shall be constructed prior to the issuance of a Certificate of Occupancy (CO) for any structure in *Subdistrict B*.
- (5) Variances/Exceptions. Variances and exceptions to the requirements of this ordinance

**Exhibit 'G'**  
*Development Standards*

shall be submitted and approved in accordance with the process and procedures set forth in Article 11, *Development Applications and Review procedures*, of the Unified Development Code (UDC) [Ordinance No. 20-02].

DRAFT  
ORDINANCE  
09.10.2024

**Exhibit 'G'**  
Development Standards

**(D) SUBDISTRICT A: LARGE FORMAT RETAILER**

- (1) Concept Plan. Development within *Subdistrict A* -- as depicted on the *Subdistrict Plan* contained in *Exhibit 'C'* of this ordinance -- shall generally conform with [1] the *Overall Concept Plan* -- contained in *Exhibit 'D'* of this ordinance --, and [2] *Figure 1. Subdistrict A Concept Plan* below.

**FIGURE 1. SUBDISTRICT A CONCEPT PLAN**



- (2) Building Elevations. Development within *Subdistrict A* -- as depicted on the *Subdistrict Plan* contained in *Exhibit 'C'* of this ordinance -- shall generally conform to the *Building Elevations* depicted in the *Conceptual Building Elevations | Subdistrict A* contained in *Exhibit 'F'* of this ordinance.
- (3) Permitted Land Uses. Unless specifically provided for by this Planned Development District Ordinance, *Subdistrict A* -- as depicted on the *Subdistrict Plan* contained in *Exhibit 'C'* of this ordinance -- shall be subject to the land uses permitted within the Commercial (C) District, as stipulated by the *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the Unified Development Code (UDC), as heretofore amended, as amended herein by granting this zoning change, and as maybe amended in the future; however, the following shall apply:
- (a) The following land uses shall be permitted By-Right:

- WAREHOUSE/DISTRIBUTION <sup>(1)</sup>

NOTES:

<sup>(1)</sup>: AS AN ACCESSORY LAND USE TO A GENERAL RETAIL STORE ONLY.

**Exhibit 'G'**  
**Development Standards**

(b) The following land uses shall be expressly Prohibited:

- AGRICULTURAL USES ON UNPLATTED LAND
- ANIMAL BOARDING/KENNEL WITHOUT OUTSIDE PENS
- ANIMAL HOSPITAL OR CLINIC
- COMMUNITY GARDEN
- URBAN FARM
- CARETAKERS QUARTERS/DOMESTIC OR SECURITY UNIT
- CONVENT, MONASTERY, OR TEMPLE
- MOTEL
- BLOOD PLASMA DONOR CENTER
- CEMETERY/MAUSOLEUM
- CHURCH/HOUSE OF WORSHIP
- COLLEGE, UNIVERSITY, OR SEMINARY
- EMERGENCY GROUND AMBULANCE SERVICES
- HOSPICE
- MORTUARY OR FUNERAL CHAPEL
- LOCAL POST OFFICE
- PUBLIC OR PRIVATE PRIMARY SCHOOL
- PUBLIC OR PRIVATE SECONDARY SCHOOL
- TEMPORARY EDUCATION BUILDINGS FOR PUBLIC OR PRIVATE SCHOOL
- TEMPORARY CARNIVAL, CIRCUS, OR AMUSEMENT RIDE
- TEMPORARY FUNDRAISING EVENTS BY NON-PROFIT
- INDOOR GUN CLUB WITH SKEET OR TARGET RANGE
- PRIVATE CLUB, LODGE, OR FRATERNAL ORGANIZATION
- TENNIS COURTS (*I.E. NOT ACCESSORY TO A PUBLIC OR PRIVATE COUNTRY CLUB*)
- ASTROLOGER, HYPNOTIST, OR PSYCHIC
- PORTABLE BEVERAGE SERVICE FACILITY
- BUSINESS SCHOOL
- CONVALESCENT CARE FACILITY/NURSING HOME
- DAYCARE WITH SEVEN (7) OR MORE CHILDREN
- RETAIL STORE WITH GASOLINE SALES THAT HAS TWO (2) OR LESS DISPENSERS (*I.E. MAXIMUM OF FOUR [4] VEHICLES*)
- RETAIL STORE WITH GASOLINE SALES THAT HAS MORE THAN TWO (2) DISPENSERS
- COPY CENTER
- GARDEN SUPPLY/PLANT NURSERY
- LAUNDROMAT WITH DROP-OFF/PICKUP SERVICES
- SELF SERVICE LAUNDROMAT
- NIGHT CLUB, DISCOTHEQUE, OR DANCE HALL
- PAWN SHOP
- PERMANENT COSMETICS
- TEMPORARY REAL ESTATE SALES OFFICE
- RENTAL STORE WITHOUT OUTSIDE STORAGE AND/OR DISPLAY
- SECONDHAND DEALER
- BAIL BOND SERVICES
- BUILDING AND LANDSCAPE MATERIAL WITH LIMITED OUTSIDE STORAGE
- BUILDING MAINTENANCE, SERVICE, AND SALES WITHOUT OUTSIDE STORAGE
- ELECTRICAL, WATCH, CLOCK, JEWELRY AND/OR SIMILAR REPAIR
- FURNITURE UPHOLSTERY/REFINISHING AND RESALE
- RENTAL, SALES, AND SERVICE OF HEAVY MACHINERY AND EQUIPMENT
- LOCKSMITH
- SHOE AND BOOT REPAIR AND SALES
- TRADE SCHOOL
- MINOR AUTOMOTIVE REPAIR GARAGE
- AUTOMOBILE RENTAL
- NEW OR USED BOAT AND TRAILER DEALERSHIP
- FULL SERVICE CAR WASH AND AUTO DETAIL
- SELF SERVICE CAR WASH

**Exhibit 'G'**  
**Development Standards**

- NEW AND/OR USED INDOOR MOTOR VEHICLE DEALERSHIP/SHOWROOM
- NEW MOTOR VEHICLE DEALERSHIP FOR CARS AND LIGHT TRUCKS
- USED MOTOR VEHICLE DEALERSHIP FOR CARS AND LIGHT TRUCKS
- RECREATIONAL VEHICLE (RV) SALES AND SERVICE
- SERVICE STATION
- TEMPORARY ASPHALT OR CONCRETE BATCH PLANTS
- MINING AND EXTRACTION OF SAND, GRAVEL, OIL AND/OR OTHER MATERIALS
- MINI-WAREHOUSE
- WHOLESALE SHOWROOM FACILITY
- COMMERCIAL ANTENNA
- COMMERCIAL FREESTANDING ANTENNA
- BUS CHARTER SERVICE AND SERVICE FACILITY
- HELIPAD
- RADIO BROADCASTING
- RAILROAD YARD OR SHOP
- TRANSIT PASSENGER FACILITY
- WIRELESS COMMUNICATION TOWER

(4) **Density and Development Standards.** Unless specifically provided for by this Planned Development District Ordinance, *Subdistrict A* -- as depicted on the *Subdistrict Plan contained in Exhibit 'C' of this ordinance* -- shall be subject to the density and dimensional requirements stipulated for a property in a Commercial (C) District as required by Subsection 04.05, *Commercial (C) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall as heretofore amended, as amended herein by granting this zoning change, and as may be amended in the future; however, all development on *Subdistrict A* shall conform to the standards depicted in *Table 1*, which are as follows:

**TABLE 1: LOT DIMENSIONAL REQUIREMENTS**

MINIMUM LOT AREA	10,000 SF
MINIMUM LOT WIDTH	60'
MINIMUM LOT DEPTH	100'
MINIMUM FRONT YARD SETBACK <sup>(1)</sup>	25'
MINIMUM SIDE YARD SETBACK <sup>(2)</sup>	10'
MINIMUM REAR YARD SETBACK <sup>(2)</sup>	10'
MINIMUM BETWEEN BUILDINGS <sup>(2)</sup>	15'
MAXIMUM BUILDING HEIGHT <sup>(3)</sup>	60'
MAXIMUM LOT COVERAGE <sup>(4)</sup>	60%
MINIMUM LANDSCAPING	20%

**GENERAL NOTES:**

- 1: FROM FUTURE RIGHT-OF-WAY AS SHOWN ON THE ADOPTED MASTER THOROUGHFARE PLAN OR AS ACTUALLY EXISTS, WHICHEVER IS GREATER.
- 2: THE SETBACK CAN BE REDUCED TO ZERO (0) FEET WITH A FIRE RATED WALL.
- 3: BUILDING HEIGHT MAY BE INCREASED UP TO 240-FEET IF APPROVED THROUGH A SPECIFIC USE PERMIT (SUP) BY THE PLANNING AND ZONING COMMISSION AND CITY COUNCIL.
- 4: NO ADDITIONAL FLOOR AREA RATIO (FAR) REQUIREMENTS WILL REGULATE THE LOT COVERAGE OR FORM OF THE BUILDING.

(5) **Parking Requirements.** Parking requirements for specific land uses will be as calculated in Article 06, *Parking and Loading*, of the Unified Development Code (UDC); however, the following parking ratios shall apply regardless of these standards:

- (a) **Office:** One (1) Parking Space per 300 SF of Building Area.
- (b) **General Retail:** One (1) Parking Space per 250 SF of Building Area.
- (c) **Restaurant:** One (1) Parking Space per 100 SF of Building Area.

**Exhibit 'G'**  
**Development Standards**

- (d) Warehouse/Distribution: One (1) Parking Space per 1,000 SF of Building Area.
- (6) Off-Street Loading Requirements. Loading docks shall not face directly onto the IH-30 Frontage Road, but may be located along the northern, western, and eastern facing building facades without restriction. Three (3) tiered landscaping should be used to mitigate the visibility of these areas.
- (7) Residential Screening Requirements. Any development in *Subdistrict A* shall be exempt from the *Residential Adjacency Screening Requirements* stipulated in Article 08, *Landscape and Fence Standards*, of the Unified Development Code (UDC) [Ordinance No. 20-02].
- (8) Building Materials and Design Standards. All buildings in *Subdistrict A* shall adhere to the following:
- (a) Building Materials. The following building materials shall be permitted: stone, brick, glass curtain wall, aluminum and glass storefront, glass block, tile, custom painted tilt-up concrete panel, and custom Concrete Masonry Units (CMU) (*i.e. units that have been sandblasted, burnished, or that have a split face -- light weight block or smooth faced block shall be prohibited*). In addition, the use of cementitious materials (*i.e. fiber cement, stucco, cementitious lap siding, tilt-up concrete or similar materials approved by the Director of Planning and Zoning or his/her designee*) shall be permitted without limitation for use on the building's exterior façade; however, stucco shall not be used within the first four (4) feet from grade on a building's façade.
- (b) Articulation Requirements. The articulation requirements stipulated in Section 04.01, *General Commercial District Standards*, and Section 06.02, *General Overlay District Standards*, of the Unified Development Code (UDC) shall not apply to *Subdistrict A*; however, all buildings in *Subdistrict A* should generally include an articulated entryway that creates some relief in the front façade of the building. This element will be reviewed by the Architectural Review Board (ARB) with the *PD Site Plan*.
- (c) Roof Design Standards. Flat roofs with or without parapets may be permitted; however, all rooftop mechanical equipment and/or other rooftop appurtenances (*excluding solar panels*) shall not be visible at-grade from the boundaries of *Subdistrict A*.
- (d) Required Architectural Elements. All buildings shall be required to incorporate a minimum of two (2) of the following architectural elements:
- CANOPIES, AWNINGS, OR PORTICOS
  - RECESSES/PROJECTIONS
  - ARCADES
  - PEAKED ROOF FORMS
  - ARCHES
  - OUTDOOR PATIOS
  - DISPLAY WINDOWS
  - ARCHITECTURAL DETAILS (E.G. TILE WORK AND MOLDINGS) INTEGRATED INTO THE BUILDING'S FAÇADE
  - ARTICULATED GROUND FLOOR LEVELS OR BASES
  - ARTICULATED CORNICE LINE
  - INTEGRATED PLANTERS OR WING WALLS THAT INCORPORATE LANDSCAPE AND SITTING



**Exhibit 'G'**  
**Development Standards**

AREAS

- OFFSETS, REVEALS, OR PROJECTING RIB EXPRESSING ARCHITECTURAL OR STRUCTURAL BAYS
- VARIED ROOF HEIGHTS

(9) Signage. All signage shall conform to the requirements of Chapter 32, *Signs*, of the Municipal Code of Ordinances; however, the following shall apply:

(a) Wall Signage. A business shall be allowed any number of attached wall signs, projection signs, canopy signs, or marquee signs, so long as the total face area of the attached signs do not exceed the following standards:

- (1) North Façade: 5.00% of the wall face.
- (2) South Façade: 15.00% of the wall face.
- (3) East Façade: 20.00% of the wall face.
- (4) West Façade: 5.00% of the wall face.

(b) Freestanding Monopole Sign. *Subdistrict A* shall conform to the requirements of Chapter 32, *Signs*, of the Municipal Code of Ordinances for *Freestanding Monopole Signs*; however, one (1) *Freestanding Monopole Sign* in this *Subdistrict* may be a maximum of 120-feet in height, and have up to three (3) sign faces a maximum of 700 SF each (*i.e. an overall maximum signage area of 2,100 SF*). One (1) additional *Freestanding Monopole Signs* -- conforming to the setback requirements of the Municipal Code of Ordinances -- shall be permitted on the site may be established as *Freestanding Monopole Signs* or *Digital Sign* (at the same maximum size and square footage permitted for *Freestanding Monopole Signs* by the Municipal Code of Ordinances).

(c) Digital Wall or Banner Signage. In addition to the wall signage permitted above, two (2) 700 SF *Digital Wall or Banner Signs* shall be permitted on the southern or eastern building facades. Digital wall signage shall be subject to the requirements for *Changeable Electronic Variable Message Signs* (CEVMS) as stipulated by Section 32-233(3) through Section 32-233(6) of the Municipal Code of Ordinances.

(d) Flag Pole Signs. Up to eight (8) flag poles with flags that have the company's name or logo shall be permitted at main points of ingress/egress into the site pending they do not exceed a maximum height of 40-feet. Flag poles displaying state or national flags shall meet the requirements of the Unified Development Code (UDC).

(e) Traffic Signs. *Traffic Signs* shall adhere to the requirements of Chapter 32, *Signs*, of the Municipal Code of Ordinances; however, *Traffic Signs* shall meet the following standards:

- (1) A maximum of 34 *Traffic Signs* are permitted on-site.
- (2) *Traffic Signs* may be internally or externally illuminated, as long as the light source is fully shielded and directed downward.
- (3) *Traffic Signs* may contain a commercial message.
- (4) A total of four (4) *Traffic Signs* may have two (2) sign faces, each with a maximum sign face of 12 square feet.

**Exhibit 'G'**  
*Development Standards*

- (5) One (1) *Traffic Sign* may have two (2) sign faces, each with a maximum sign face of ten (10) square feet.
  - (6) A total of two (2) *Traffic Signs* may have two (2) sign faces, each with a maximum sign face of five (5) feet.
  - (7) A total of nine (9) *Traffic Signs* may have a single sign face of five (5) square feet.
  - (8) A total of 11 *Traffic Signs* may have a single sign face of three (3) square feet.
  - (9) The remaining *Traffic Signs* may have a single sign face of two (2) square feet.
  - (10) *Traffic Signs* may be a maximum of five (5) feet in height.
- (f) *Cart Signs*. A maximum of 16 *Cart Signs* shall be permitted on-site, each with a sign face that is a maximum of 21 square feet. *Cart Signs* may contain a commercial message. A sign permit shall not be required when the *Cart Sign* copy changes; however, a sign permit shall be required for the locations of the original *Cart Signs*.
- (g) *Parking Memorizer Signs*. A maximum of 32 *Parking Memorizer Signs* shall be permitted on-site. Each *Parking Memorizer Signs* may have up to four (4) sign faces, each with a maximum sign face of three (3) square feet. *Parking Memorizer Signs* shall be evenly placed throughout the parking aisles of the *Large Format Retailer*.
- (h) *Promotional Messaging Signs*. A maximum of 14 *Promotional Messaging Signs* shall be permitted on-site. *Promotional Messaging Signs* shall be subject to the following standards:
- (1) *Promotional Messaging Signs* shall be located internally to the property not more than 100-feet from a public right-of-way.
  - (2) *Promotional Messaging Signs* shall not exceed ten (10) feet in height.
  - (3) Each sign face shall have a maximum area of 44 square feet.
  - (4) *Promotional Messaging Signs* may be internally or externally illuminated as long as the light source is fully shielded and directed downward.
  - (5) A sign permit shall not be required to change the face/copy of a *Promotional Message Sign*; however, the sign itself will require a sign permit to establish the location of the *Promotional Message Sign*.

**Exhibit 'G'**  
**Development Standards**

**(E) SUBDISTRICT B: REGIONAL COMMERCIAL/RETAIL AND ENTERTAINMENT CENTER**

(1) ***Permitted Land Uses.*** Unless specifically provided for by this Planned Development District Ordinance, *Subdistrict B -- as depicted on the Subdistrict Plan contained in Exhibit 'C' of this ordinance --* shall be subject to the land uses permitted within the Commercial (C) District, as stipulated by the *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the Unified Development Code (UDC), as heretofore amended, as amended herein by granting this zoning change, and as may be amended in the future; however, the following shall apply:

(a) The following land uses shall be permitted ***By-Right***:

- RESTAURANT WITH LESS THAN 2,000 SF WITH DRIVE-THROUGH OR DRIVE-IN <sup>(1)</sup>

***NOTES:***

<sup>(1)</sup>: NO MORE THAN FOUR (4) RESTAURANTS WITH LESS THAN 2,000 SF WITH DRIVE-THROUGH OR DRIVE-IN SHALL BE PERMITTED BY-RIGHT. ANY MORE THAN FOUR (4) RESTRUARNTS WITH LESS THAN 2,000 SF WITH DRIVE-THROUGH OR DRIVE-IN SHALL REQUIRE A SPECIFIC USE PERMIT (SUP).

(b) The following land uses shall be expressly ***Prohibited***:

- AGRICULTURAL USES ON UNPLATTED LAND
- ANIMAL BOARDING/KENNEL WITHOUT OUTSIDE PENS
- ANIMAL HOSPITAL OR CLINIC
- COMMUNITY GARDEN
- URBAN FARM
- CARETAKERS QUARTERS/DOMESTIC OR SECURITY UNIT
- CONVENT, MONASTERY, OR TEMPLE
- MOTEL
- BLOOD PLASMA DONOR CENTER
- CEMETERY/MAUSOLEUM
- CHURCH/HOUSE OF WORSHIP
- COLLEGE, UNIVERSITY, OR SEMINARY
- EMERGENCY GROUND AMBULANCE SERVICES
- HOSPICE
- MORTUARY OR FUNERAL CHAPEL
- LOCAL POST OFFICE
- PUBLIC OR PRIVATE PRIMARY SCHOOL
- PUBLIC OR PRIVATE SECONDARY SCHOOL
- TEMPORARY EDUCATION BUILDINGS FOR PUBLIC OR PRIVATE SCHOOL
- TEMPORARY CARNIVAL, CIRCUS, OR AMUSEMENT RIDE
- INDOOR GUN CLUB WITH SKEET OR TARGET RANGE
- PRIVATE CLUB, LODGE, OR FRATERNAL ORGANIZATION
- TENNIS COURTS (*I.E. NOT ACCESSORY TO A PUBLIC OR PRIVATE COUNTRY CLUB*)
- ASTROLOGER, HYPNOTIST, OR PSYCHIC
- PORTABLE BEVERAGE SERVICE FACILITY
- TEMPORARY CHRISTMAS TREE SALES LOT AND/OR SIMILAR USES
- COPY CENTER
- GARDEN SUPPLY/PLANT NURSERY
- LAUNDROMAT WITH DROPOFF/PICKUP SERVICES
- SELF SERVICE LAUNDROMAT
- NIGHT CLUB, DISCOTHEQUE, OR DANCE HALL
- PAWN SHOP
- PERMANENT COSMETICS <sup>(1)</sup>
- TEMPORARY REAL ESTATE SALES OFFICE
- RENTAL STORE WITHOUT OUTSIDE STORAGE AND/OR DISPLAY

**Exhibit 'G'**  
**Development Standards**

- SECONDHAND DEALER
- BAIL BOND SERVICES
- BUILDING AND LANDSCAPE MATERIAL WITH LIMITED OUTSIDE STORAGE
- BUILDING MAINTENANCE, SERVICE, AND SALES WITHOUT OUTSIDE STORAGE
- FURNITURE UPHOLSTERY/REFINISHING AND RESALE <sup>(2)</sup>
- RENTAL, SALES, AND SERVICE OF HEAVY MACHINERY AND EQUIPMENT
- LOCKSMITH
- SHOE AND BOOT REPAIR AND SALES
- TRADE SCHOOL
- MINOR AUTOMOTIVE REPAIR GARAGE
- AUTOMOBILE RENTAL
- NEW OR USED BOAT AND TRAILER DEALERSHIP
- FULL SERVICE CAR WASH AND AUTO DETAIL
- SELF SERVICE CAR WASH
- NEW AND/OR USED INDOOR MOTOR VEHICLE DEALERSHIP/SHOWROOM
- NEW MOTOR VEHICLE DEALERSHIP FOR CARS AND LIGHT TRUCKS
- USED MOTOR VEHICLE DEALERSHIP FOR CARS AND LIGHT TRUCKS
- RECREATIONAL VEHICLE (RV) SALES AND SERVICE
- SERVICE STATION
- TEMPORARY ASPHALT OR CONCRETE BATCH PLANTS
- MINING AND EXTRACTION OF SAND, GRAVEL, OIL AND/OR OTHER MATERIALS
- MINI-WAREHOUSE
- WHOLESALE SHOWROOM FACILITY
- COMMERCIAL ANTENNA
- COMMERCIAL FREESTANDING ANTENNA
- BUS CHARTER SERVICE AND SERVICE FACILITY
- HELIPAD
- RADIO BROADCASTING
- RAILROAD YARD OR SHOP
- TRANSIT PASSENGER FACILITY
- WIRELESS COMMUNICATION TOWER

**NOTES:**

<sup>(1)</sup>: UNLESS ACCESSORY TO A SPA OR HAIR SALON.

<sup>(2)</sup>: UNLESS ACCESSORY TO A GENERAL RETAIL STORE.

(2) Density and Development Standards. Unless specifically provided for by this Planned Development District Ordinance, *Subdistrict B* -- as depicted on the *Subdistrict Plan* contained in *Exhibit 'C'* of this ordinance -- shall be subject to the density and dimensional requirements stipulated for a property in a Commercial (C) District as required by Subsection 04.05, *Commercial (C) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall as heretofore amended, as amended herein by granting this zoning change, and as may be amended in the future; however, all development on *Subdistrict B* shall conform to the standards depicted in *Table 2*, which are as follows:

**TABLE 2: LOT DIMENSIONAL REQUIREMENTS**

MINIMUM LOT AREA	10,000 SF
MINIMUM LOT WIDTH	60'
MINIMUM LOT DEPTH	100'
MINIMUM FRONT YARD SETBACK <sup>(1)</sup>	25'
MINIMUM SIDE YARD SETBACK <sup>(2)</sup>	10'
MINIMUM REAR YARD SETBACK <sup>(2)</sup>	10'
MINIMUM BETWEEN BUILDINGS <sup>(2)</sup>	15'
MAXIMUM BUILDING HEIGHT <sup>(3)</sup>	60'
MAXIMUM LOT COVERAGE <sup>(4)</sup>	60%
MINIMUM LANDSCAPING	20%

**Exhibit 'G'**  
**Development Standards**

GENERAL NOTES:

- 1: FROM FUTURE RIGHT-OF-WAY AS SHOWN ON THE ADOPTED MASTER THOROUGHFARE PLAN OR AS ACTUALLY EXISTS, WHICHEVER IS GREATER.
- 2: THE SETBACK CAN BE REDUCED TO ZERO (0) FEET WITH A FIRE RATED WALL.
- 3: BUILDING HEIGHT MAY BE INCREASED UP TO 240-FEET IF APPROVED THROUGH A SPECIFIC USE PERMIT (SUP) BY THE PLANNING AND ZONING COMMISSION AND CITY COUNCIL.
- 4: NO ADDITIONAL FLOOR AREA RATIO (FAR) REQUIREMENTS WILL REGULATE THE LOT COVERAGE OR FORM OF THE BUILDING.

(3) Parking Requirements. For the purposes of calculating the required parking within *Subdistrict B* -- as depicted on the *Subdistrict Plan* contained in Exhibit 'C' of this ordinance --, the parking requirement for a particular land use or building may be satisfied by any property within the *Subdistrict* as long as the provided parking is: [1] not necessary for an existing land use, building or structure, and [2] is situated within 450-feet of the land use, building, or structure being served. The parking requirements for specific land uses shall be calculated as specified by Article 06, *Parking and Loading*, of the Unified Development Code (UDC); however, the following parking ratios shall apply regardless of these standards:

- (a) Office: One (1) Parking Space per 300 SF of Building Area.
- (b) General Retail: One (1) Parking Space per 250 SF of Building Area.
- (c) Restaurant: One (1) Parking Space per 100 SF of Building Area.
- (d) Warehouse/Distribution: One (1) Parking Space per 1,000 SF of Building Area.

(4) Residential Adjacency. The portion of *Subdistrict B* that abuts *Subdistrict D* shall be exempt from the *Residential Adjacency Screening Requirements* stipulated in Article 08, *Landscape and Fence Standards*, of the Unified Development Code (UDC).

(5) Signage. In addition to the restrictions in Chapter 32, *Signs*, of the Municipal Code of Ordinances, and the requirements of this Planned Development District ordinance, *Subdistrict B* shall be subject to the following signage requirements:

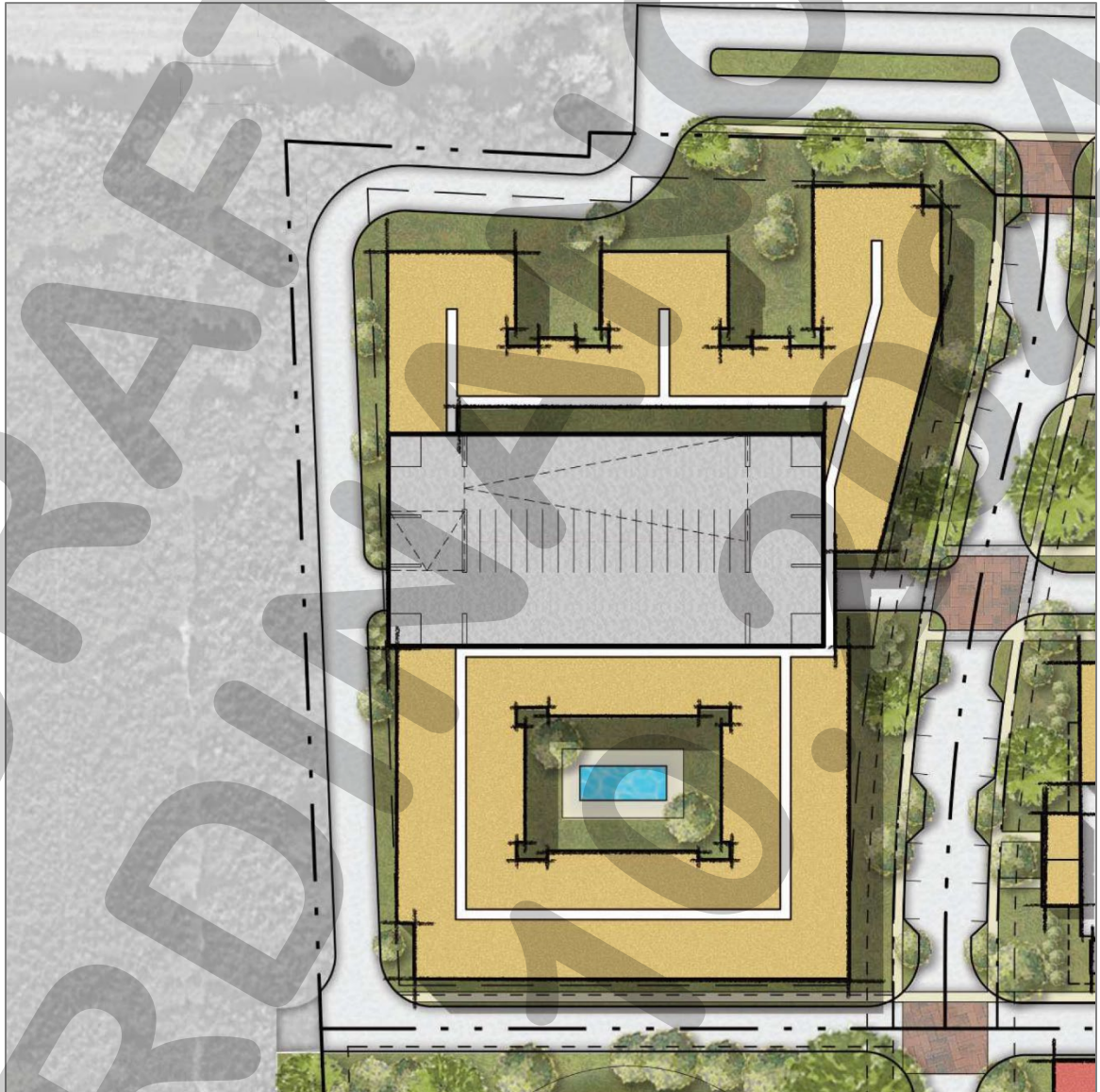
- (a) Shopping Center Signs. A maximum of three (3) *Shopping Center Signs* shall be permitted at the main points of ingress/egress into the subject property, provided that the signs do not exceed a maximum height of 35-feet. Each *Shopping Center Sign* may have two (2) sign faces, each with a maximum sign face of 360 square feet. The *Shopping Center Signs* may include information regarding the residential land uses included in *Subdistricts 'C' & 'D'*.

**Exhibit 'G'**  
**Development Standards**

**(F) SUBDISTRICT C: URBAN RESIDENTIAL**

- (1) **Concept Plan.** Development within *Subdistrict C* -- as depicted on the *Subdistrict Plan* contained in *Exhibit 'C'* of this ordinance -- shall generally conform with [1] the *Overall Concept Plan* -- contained in *Exhibit 'D'* of this ordinance --, and [2] *Figure 2. Subdistrict C Concept Plan* below.

**FIGURE 2. SUBDISTRICT C CONCEPT PLAN**



- (2) **Building Elevations.** Development within *Subdistrict C* -- as depicted on the *Subdistrict Plan* contained in *Exhibit 'C'* of this ordinance -- shall generally conform to the *Building Elevations* depicted in the *Conceptual Building Elevations | Subdistrict C* contained in *Exhibit 'F'* of this ordinance.
- (3) **Permitted Land Uses.** Unless specifically provided for by this Planned Development District Ordinance, *Subdistrict C* -- as depicted on the *Subdistrict Plan* contained in

**Exhibit 'G'**  
**Development Standards**

*Exhibit 'C' of this ordinance* -- shall be subject to the land uses permitted within the Commercial (C) District, as stipulated by the *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the Unified Development Code (UDC), as heretofore amended, as amended herein by granting this zoning change, and as may be amended in the future; however, the following shall apply:

(a) The following land uses shall be the only land use permitted By-Right:

- URBAN RESIDENTIAL <sup>(1), (2) & (3)</sup>
- HOME OCCUPATION <sup>(4)</sup>

**NOTES:**

<sup>(1)</sup>: FOR THE PURPOSES OF THIS PLANNED DEVELOPMENT DISTRICT ORDINANCE, URBAN RESIDENTIAL SHALL BE DEFINED AS A CONDOMINIUM BUILDING WITH MULTI-FAMILY DWELLING UNITS, WITHIN WHICH DESIGNATED DWELLING UNITS ARE CONVEYED VIA FEE SIMPLE TITLE, WITH AN UNDIVIDED INTEREST IN THE BUILDING'S COMMON ELEMENTS, TO INCLUDE, BUT NOT BE LIMITED TO, HALLS, STAIRS, ELEVATORS, ROOF, PARKING SPACE, AND THE LAND WHEN THE BUILDING IS NOT CONSTRUCTED ON LEASED LAND. BASED ON THIS DEFINITION, ALL CONDOMINIUMS SHALL MEET THE FOLLOWING: [1] EACH UNIT IN A PROJECT HAS SEPARATE UTILITIES THAT ARE INDIVIDUALLY METERED, AND [2] EACH UNIT IS CONVEYED VIA A FEE SIMPLE DEED.

<sup>(2)</sup>: A MAXIMUM 250-DWELLING UNITS ARE PERMITTED WITHIN AN URBAN RESIDENTIAL DEVELOPMENT THAT SHALL INCORPORATE A PARKING GARAGE THAT IS WRAPPED BY UNITS. THIS DEVELOPMENT SHALL HAVE MINIMAL SURFACE PARKING FOR GUESTS, EMPLOYEES, AND VISITORS. THIS DEVELOPMENT MAY BE A MAXIMUM OF 250-UNITS ON APPROXIMATELY FOUR (4) ACRES (EXCLUDING ROADWAYS). FACADES OF THIS BUILDING SHALL GENERALLY ADHERE TO THE GENERAL OVERLAY DISTRICT STANDARDS; HOWEVER, INTERIOR FACING FACADES (I.E. FACING TOWARDS AN INTERNAL COURTYARD) MAY BE 100% STUCCO OR OTHER CEMENTIOUS MATERIAL PERMITTED BY THE UNIFIED DEVELOPMENT CODE (UDC).

<sup>(3)</sup>: THIS INCLUDES ACCESSORY LAND USES THAT ARE AMENITIES TO THE PROPOSED CONDOMINIUM LAND USE (E.G. SWIMMING POOL, GYM, ETC.).

<sup>(4)</sup>: AS AN ACCESSORY LAND USE TO AN URBAN RESIDENTIAL UNIT ONLY.

(4) Density and Development Standards. Unless specifically provided for by this Planned Development District Ordinance, *Subdistrict C* -- as depicted on the *Subdistrict Plan* contained in *Exhibit 'C' of this ordinance* -- shall be subject to the density and dimensional requirements stipulated for a property in a Commercial (C) District as required by Subsection 04.05, *Commercial (C) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall as heretofore amended, as amended herein by granting this zoning change, and as may be amended in the future; however, all development on *Subdistrict C* shall conform to the standards depicted in *Table 3*, which are as follows:

**TABLE 3: LOT DIMENSIONAL REQUIREMENTS**

MINIMUM LOT AREA	10,000 SF
MINIMUM LOT WIDTH	60'
MINIMUM LOT DEPTH	100'
MINIMUM FRONT YARD SETBACK <sup>(1)</sup>	15'
MINIMUM SIDE YARD SETBACK <sup>(2)</sup>	10'
MINIMUM REAR YARD SETBACK <sup>(2)</sup>	10'
MINIMUM BETWEEN BUILDINGS <sup>(2)</sup>	15'
MAXIMUM BUILDING HEIGHT <sup>(3)</sup>	75'
MAXIMUM LOT COVERAGE <sup>(4)</sup>	60%
MINIMUM LANDSCAPING	20%

**GENERAL NOTES:**

**Exhibit 'G'**  
**Development Standards**

- 1: FROM FUTURE RIGHT-OF-WAY AS SHOWN ON THE ADOPTED MASTER THOROUGHFARE PLAN OR AS ACTUALLY EXISTS, WHICHEVER IS GREATER.
- 2: THE SETBACK CAN BE REDUCED TO ZERO (0) FEET WITH A FIRE RATED WALL.
- 3: BUILDING HEIGHT MAY BE INCREASED UP TO 240-FEET IF APPROVED THROUGH A SPECIFIC USE PERMIT (SUP) BY THE PLANNING AND ZONING COMMISSION AND CITY COUNCIL.
- 4: NO ADDITIONAL FLOOR AREA RATIO (FAR) REQUIREMENTS WILL REGULATE THE LOT COVERAGE OR FORM OF THE BUILDING.

(5) Parking Requirements. The minimum parking requirements for the *Urban Residential* land use shall be 1½ parking spaces per each unit, which shall be located in a structured parking garage. The structured parking garage shall incorporate screening for vehicle headlights using a material that is architecturally compatible with the *Urban Residential* building.

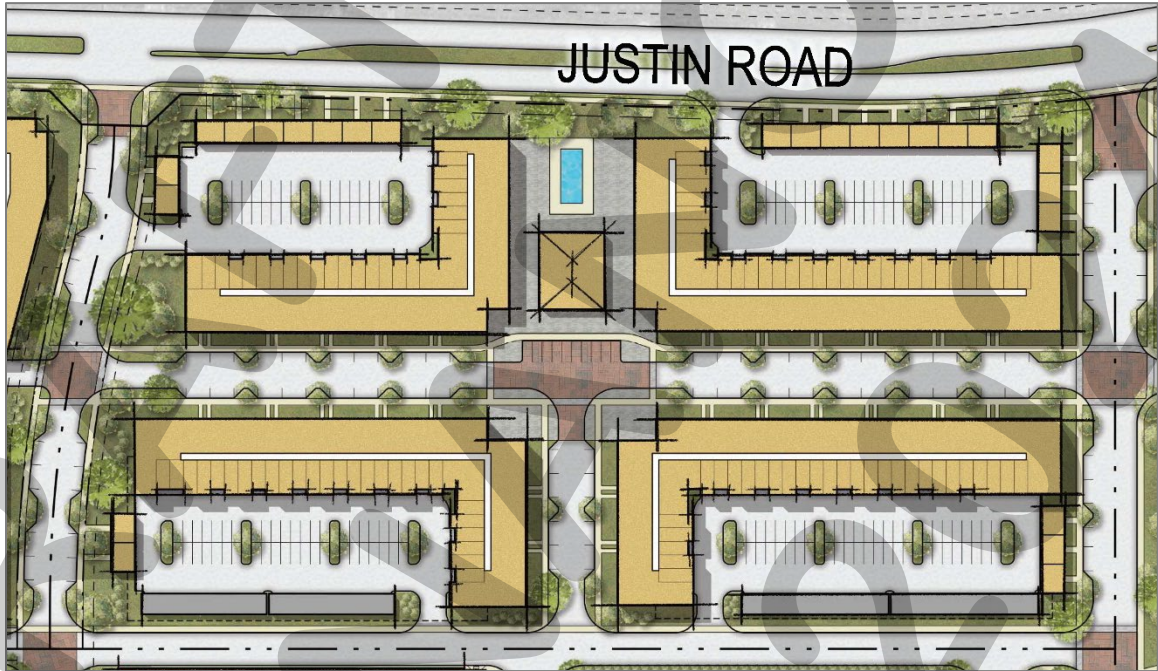


**Exhibit 'G'**  
Development Standards

**(G) SUBDISTRICT D: LOW RISE RESIDENTIAL COMMUNITY**

- (1) **Concept Plan.** Development within *Subdistrict D* -- as depicted on the *Subdistrict Plan* contained in *Exhibit 'C'* of this ordinance -- shall generally conform with [1] the *Overall Concept Plan* -- contained in *Exhibit 'D'* of this ordinance --, and [2] *Figure 3. Subdistrict D Concept Plan* below.

**FIGURE 3. SUBDISTRICT D CONCEPT PLAN**



- (2) **Building Elevations.** Development within *Subdistrict D* -- as depicted on the *Subdistrict Plan* contained in *Exhibit 'C'* of this ordinance -- shall generally conform to the *Building Elevations* depicted in the *Conceptual Building Elevations | Subdistrict D* contained in *Exhibit 'F'* of this ordinance.
- (3) **Permitted Land Uses.** Unless specifically provided for by this Planned Development District Ordinance, *Subdistrict D* -- as depicted on the *Subdistrict Plan* contained in *Exhibit 'C'* of this ordinance -- shall be subject to the land uses permitted within the Commercial (C) District, as stipulated by the *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the Unified Development Code (UDC), as amended herein by granting this zoning change, and as may be amended in the future; however, the following shall apply:
- (b) The following land uses shall be the only land use permitted ***By-Right***:

- LOW-RISE RESIDENTIAL COMMUNITY <sup>(1), (2) & (3)</sup>
- TOWNHOMES <sup>(1), (2) & (3)</sup>
- HOME OCCUPATION <sup>(4)</sup>

**NOTES:**

<sup>(1)</sup>: FOR THE PURPOSES OF THIS PLANNED DEVELOPMENT DISTRICT ORDINANCE, LOW-RISE RESIDENTIAL COMMUNITY SHALL BE DEFINED AS A CONDOMINIUM BUILDING WITH MULTI-FAMILY DWELLING UNITS, WITHIN WHICH DESIGNATED DWELLING UNITS ARE CONVEYED VIA FEE SIMPLE TITLE, WITH AN UNDIVIDED INTEREST IN THE BUILDING'S

**Exhibit 'G'**  
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COMMON ELEMENTS, TO INCLUDE, BUT NOT BE LIMITED TO, HALLS, STAIRS, ELEVATORS, ROOF, PARKING SPACE, AND THE LAND WHEN THE BUILDING IS NOT CONSTRUCTED ON LEASED LAND. BASED ON THIS DEFINITION, ALL CONDOMINIUMS SHALL MEET THE FOLLOWING: [1] EACH UNIT IN A PROJECT HAS SEPARATE UTILITIES THAT ARE INDIVIDUALLY METERED, AND [2] EACH UNIT IS CONVEYED VIA A FEE SIMPLE DEED.

- (2): A MAXIMUM OF 25-TOWNHOMES AND 225-LOW-RISE RESIDENTIAL COMMUNITY DWELLING UNITS ARE PERMITTED WITHIN THE PROPOSED LOW-RISE RESIDENTIAL COMMUNITY. THESE UNITS MAY BE SURFACED PARKED; HOWEVER, [A] A MINIMUM OF 33.20% OF ALL UNITS SHALL HAVE GARAGES; [B] A MINIMUM OF TEN (10) PERCENT OF ALL UNITS SHALL HAVE GARAGES THAT ARE DEDICATED TO A SPECIFIC UNIT AND TO WHICH THE GARAGES PROVIDE DIRECT ACCESS TO THE UNIT; [C] A MINIMUM OF 15.20% OF ALL UNITS SHALL HAVE COVERED PARKING SPACES.
- (3): THIS INCLUDES ACCESSORY LAND USES THAT ARE AMENITIES TO THE PROPOSED CONDOMINIUM LAND USE (E.G. SWIMMING POOL, GYM, ETC.).
- (4): AS AN ACCESSORY LAND USE TO A TOWNHOME OR LOW-RISE RESIDENTIAL COMMUNITY UNIT ONLY.

(4) Density and Development Standards. Unless specifically provided for by this Planned Development District Ordinance, *Subdistrict D* -- as depicted on the *Subdistrict Plan contained in Exhibit 'C' of this ordinance* -- shall be subject to the density and dimensional requirements stipulated for a property in a Commercial (C) District as required by Subsection 04.05, *Commercial (C) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall as heretofore amended, as amended herein by granting this zoning change, and as may be amended in the future; however, all development on *Subdistrict D* shall conform to the standards depicted in *Table 4*, which are as follows:

TABLE 4: LOT DIMENSIONAL REQUIREMENTS

MINIMUM LOT AREA	10,000 SF
MINIMUM LOT WIDTH	60'
MINIMUM LOT DEPTH	100'
MINIMUM FRONT YARD SETBACK <sup>(1) &amp; (5)</sup>	10'
MINIMUM SIDE YARD SETBACK <sup>(2)</sup>	10'
MINIMUM REAR YARD SETBACK <sup>(2)</sup>	10'
MINIMUM BETWEEN BUILDINGS <sup>(2)</sup>	15'
MAXIMUM BUILDING HEIGHT <sup>(3)</sup>	60'
MAXIMUM LOT COVERAGE <sup>(4)</sup>	60%
MINIMUM LANDSCAPING	20%

GENERAL NOTES:

- 1: FROM FUTURE RIGHT-OF-WAY AS SHOWN ON THE ADOPTED MASTER THOROUGHFARE PLAN OR AS ACTUALLY EXISTS, WHICHEVER IS GREATER.
- 2: THE SETBACK CAN BE REDUCED TO ZERO (0) FEET WITH A FIRE RATED WALL.
- 3: BUILDING HEIGHT MAY BE INCREASED UP TO 240-FEET IF APPROVED THROUGH A SPECIFIC USE PERMIT (SUP) BY THE PLANNING AND ZONING COMMISSION AND CITY COUNCIL.
- 4: NO ADDITIONAL FLOOR AREA RATIO (FAR) REQUIREMENTS WILL REGULATE THE LOT COVERAGE OR FORM OF THE BUILDING.
- 5: AWNINGS, PATIOS, STOOPS, OR SIMILAR RESIDENTIAL ENTRY FEATURES (AS DETERMINED BY THE DIRECTOR OF PLANNING AND ZONING) MAY EXTEND A MAXIMUM OF FIVE (5) FEET INTO THE FRONT YARD BUILDING SETBACK AND REQUIRED TEN (10) FOOT LANDSCAPE BUFFER ALONG JUSTIN ROAD.

(6) Parking Requirements. The minimum parking requirements for the *Townhome or Low-Rise Multi-Family Community* land use shall be 1½ parking spaces per each unit.



# CITY OF ROCKWALL

## PLANNING AND ZONING COMMISSION CASE MEMO

### PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

---

**TO:** Planning and Zoning Commission  
**DATE:** September 10, 2024  
**APPLICANT:** Travis Block  
**CASE NUMBER:** Z2024-036; *Specific Use Permit (SUP) for a Detached Garage at 921 N. Alamo Road*

---

### SUMMARY

Hold a public hearing to discuss and consider a request by Travis Block for the approval of a Specific Use Permit (SUP) for a *Detached Garage* on a 0.53-acre tract of land identified as a portion of Block 4 of the Garner Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 10 (SF-10) District, situated within the North SH-205 Overlay (N. SH-205 OV) District, addressed as 921 N. Alamo Street, and take any action necessary.

### BACKGROUND

The subject property is considered to be a part of Old Town Rockwall, and was platted with the Garner Addition prior to 1934 per the 1934 Sanborn Maps. According to the City's historic zoning maps, at some point after the time of incorporation and January 3, 1972, the subject property was zoned Single-Family 2 (SF-2) District. Following this, sometime between January 22, 1982 and May 16, 1983, the subject property was rezoned from a Single-Family 2 (SF-2) District to Single-Family 10 (SF-10) District. According to the Rockwall Central Appraisal District (RCAD) the 1,282 SF single-family home was constructed in 1993 and the two (2), ~180 SF accessory buildings situated on the subject property were constructed in 1995.

### PURPOSE

The applicant -- *Travis Block* -- is requesting the approval of a Specific Use Permit (SUP) to allow the construction of a *Detached Garage* that exceeds the maximum allowable number of accessory structures and maximum permissible size as stipulated by Subsection 07.04, *Accessory Structure Development Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC).

### ADJACENT LAND USES AND ACCESS

The subject property is addressed as 921 N. Alamo Road. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property are two (2) tracts of land (925, & 975 N. Alamo Road) developed with single-family homes. These two (2) properties are zoned Single-Family 10 (SF-10) District. Beyond this is a vacant 2.76-acre tract of land (*i.e. Tract 5 of the J. H. B. Jones Survey, Abstract No. 124*) zoned Neighborhood Services (NS) District. North of this is East Fork Drive, which is identified as a M4U (*i.e. major collector, four [4] lane, undivided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

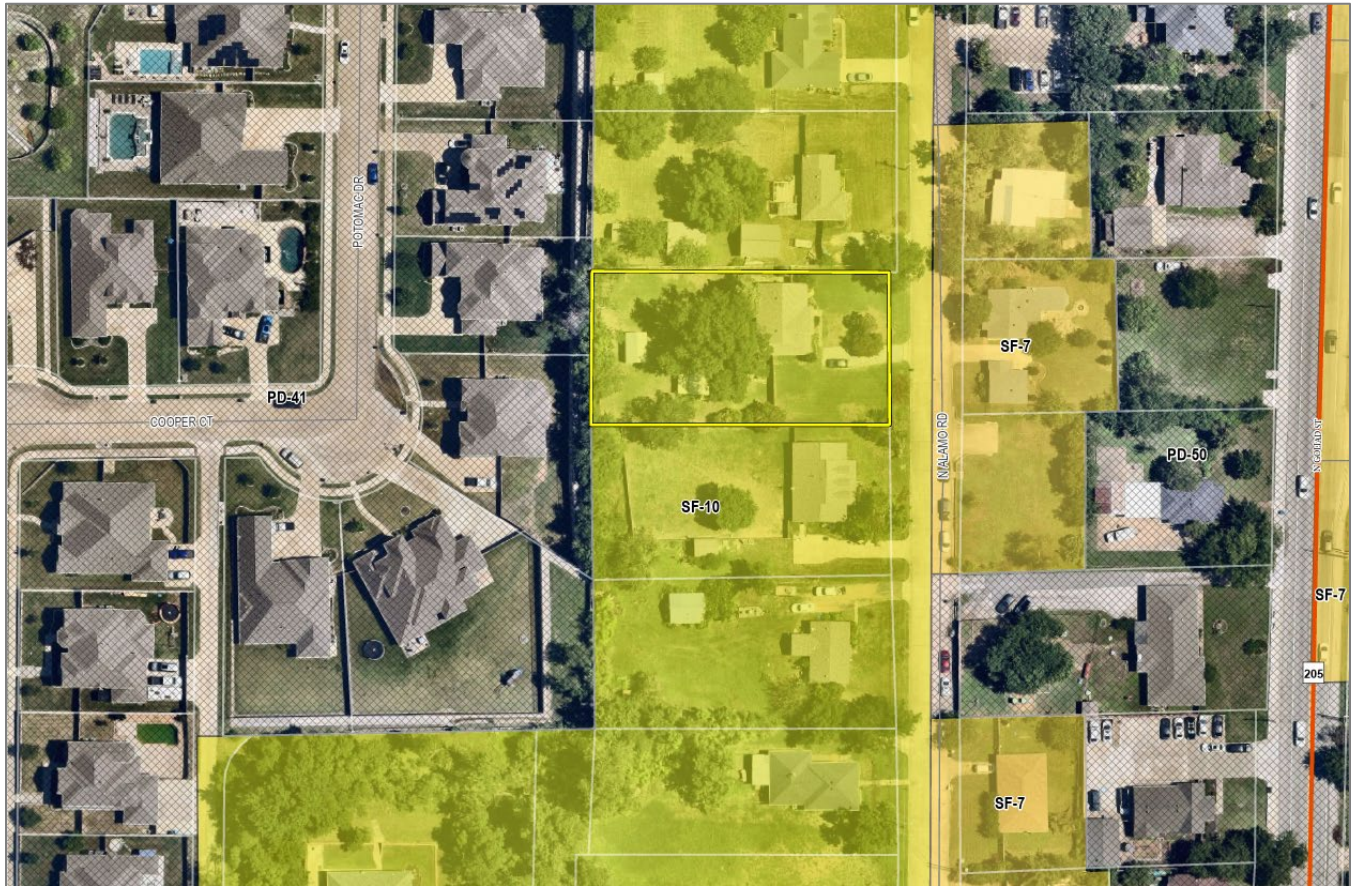
South: Directly south of the subject property are several parcels of land that make up the remainder of the Garner Addition and the Briones Addition. All of these properties are developed with single-family homes and zoned Single-Family 10 (SF-10) District. Beyond this is E. Heath Street, which is identified as a R2 (*i.e. residential, two [2] lane, undivided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

East: Directly east of the subject property is N. Alamo Road, which is identified as a *Minor Collector* on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Following this is one (1)

parcel of land (i.e. 922 N. Alamo Road) developed with a single-family home and zoned Single-Family 7 (SF-7) District. Beyond this is one (1) vacant parcel of land (i.e. 919 N Goliad Street), which is zoned Planned Development District 50 (PD-50) for Residential Office (RO) District land uses. East of this is N. Goliad Street [SH-205], which is identified as a A5D (i.e. arterial, five [5] lane, divided roadway) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

West: Directly west of the subject property is Phase 1 of the Preserve Subdivision, which consists of 130 single-family homes that are zoned Planned Development District 41 (PD-41) for Single-Family 10 (SF-10) District land uses. Beyond this is N Lakeshore Drive which is identified as a A4D (i.e. arterial, four [4] lane, divided roadway) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

MAP 1: LOCATION MAP  
YELLOW: SUBJECT PROPERTY



### **CHARACTERISTICS OF THE REQUEST**

The applicant is requesting the approval of a Specific Use Permit (SUP) to allow the construction of a *Detached Garage*. The site plan indicates that the *Detached Garage* will have a building footprint of 24'-8" x 30'-4" or 748 SF. The site plan also indicates that the *Detached Garage* will be located 21-feet behind the primary structure, meet all the applicable building setbacks, and be accessed at the front of the property via an 81-foot concrete driveway. The building elevations indicate that the structure will stand 18'-10" in height (i.e. 14'-5" as measured to the midpoint), and be clad in HardiBoard lap siding that will match the primary structure. The proposed structure will have one (1) roll up garage door that will face onto N. Alamo Road.

### **CONFORMANCE WITH THE CITY'S CODES**

According to Subsection 07.04, *Accessory Structure Development Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), the Single-Family 10 (SF-10) District allows one (1) detached garage with a maximum square footage of 625 SF. In this case, the proposed *Detached Garage* is exceeding the maximum permissible square footage

by 123 SF. This subsection goes on to state that only one (1) other accessory structure other than the *Detached Garage* is allowed by-right. In this case, there are two (2) existing accessory buildings that will remain on the property. This means that the *Detached Garage* will exceed the maximum allowable number accessory buildings on the property.

In addition, the UDC states that a *Detached Garage* must be located behind the front façade of the primary structure, incorporate a minimum 20-foot concrete driveway, and must be affixed to a permanent concrete foundation. In this case, the proposed *Detached Garage* is located 21-feet behind the front façade of the home and incorporates an 81-foot driveway.

## **STAFF ANALYSIS**

Staff examined other accessory buildings located on properties along N. Alamo Road in between W. Heath Street and Live Oak Street, and found that the vast majority of these accessory buildings (*i.e. 13 of the 15 accessory buildings identified*) were for storage purposes (*i.e. not detached garages*). Staff only identified one (1) other *Detached Garage* along this roadway, and estimates that it is approximately 615 SF in size. Given this, the proposed *Detached Garage* would be largest of the existing accessory buildings along this portion of N. Alamo Road, and only be second to the recently approved Specific Use Permit (SUP) [*i.e. Case No. Z2024-029*] for a 910 SF *Detached Garage* at 911 N. Alamo Road. With this being said, a Specific Use Permit (SUP) is a discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission.

## **NOTIFICATIONS**

On August 21, 2024, staff mailed 103 notices to property owners and occupants within 500-feet of the subject property. Staff also sent a notice to the Preserve, Lakeview Summit, and Caruth Lakes Homeowner's Associations (HOAs), which are the only HOA's or Neighborhood Organizations within 1,500-feet of the subject property participating in the Neighborhood Notification Program. Additionally, staff posted a sign on the subject property, and advertised the public hearings in the Rockwall Herald Banner as required by the Unified Development Code (UDC). At the time this report was drafted, staff has received three (3) notices in favor of the applicant's request.

## **CONDITIONS OF APPROVAL**

If the Planning and Zoning Commission chooses to recommend approval of the applicant's request for a Specific Use Permit (SUP), then staff would propose the following conditions of approval:

- (1) The applicant shall be responsible for maintaining compliance with the operational conditions contained in the Specific Use Permit (SUP) ordinance and which are detailed as follows:
  - (A) The development of the *Subject Property* shall generally conform to the Site Plan and Survey as depicted in *Exhibit 'B'* of the Specific Use Permit (SUP) ordinance.
  - (B) The construction of a *Detached Garage* on the *Subject Property* shall generally conform to the Building Elevations depicted in *Exhibit 'C'* of the Specific Use Permit (SUP) ordinance.
  - (C) The *Detached Garage* shall not exceed a maximum size of 750 SF.
  - (D) The *Detached Garage* shall not be used as a *Guest Quarters* or *Secondary Living Quarters*.
  - (E) The subject property shall be limited to a maximum of three (3) accessory structures.
  - (F) The maximum height of the *Detached Garage* shall not exceed a total height of 19-feet as measured to highest point of the pitched roof.
  - (G) The *Detached Garage/Accessory Structure* may not be sold or conveyed separately.
- (2) Any construction resulting from the approval of this Specific Use Permit (SUP) shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of

Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

STAFF USE ONLY  
PLANNING & ZONING CASE NO.

**NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.**

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST (SELECT ONLY ONE BOX):

### PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) <sup>1</sup>
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- FINAL PLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- REPLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

### SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

### ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) <sup>1 & 2</sup>
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) <sup>1</sup>

### OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) <sup>2</sup>

#### NOTES:

<sup>1</sup>: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.  
<sup>2</sup>: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

## PROPERTY INFORMATION (PLEASE PRINT)

ADDRESS 921 N. Alamo Road

SUBDIVISION

LOT

BLOCK

GENERAL LOCATION

Residential street

## ZONING, SITE PLAN AND PLATTING INFORMATION (PLEASE PRINT)

CURRENT ZONING

Residential

CURRENT USE

Residential / yard

PROPOSED ZONING

---

PROPOSED USE

residential detached garage

ACREAGE

.53

LOTS [CURRENT]

LOTS [PROPOSED]

**SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

## OWNER/APPLICANT/AGENT INFORMATION (PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED)

OWNER

Travis Block

APPLICANT

CONTACT PERSON

CONTACT PERSON

ADDRESS

921 N. Alamo Rd

ADDRESS

CITY, STATE & ZIP

Rockwall TX 75087

CITY, STATE & ZIP

PHONE

469-235-4261

PHONE

E-MAIL

trablock@icloud.com

E-MAIL

## NOTARY VERIFICATION (REQUIRED)

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Travis Block [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ ANNUAL TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 13th DAY OF AUGUST, 2024. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

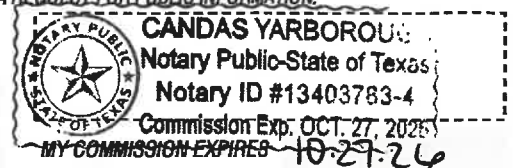
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 13th DAY OF August, 2024.

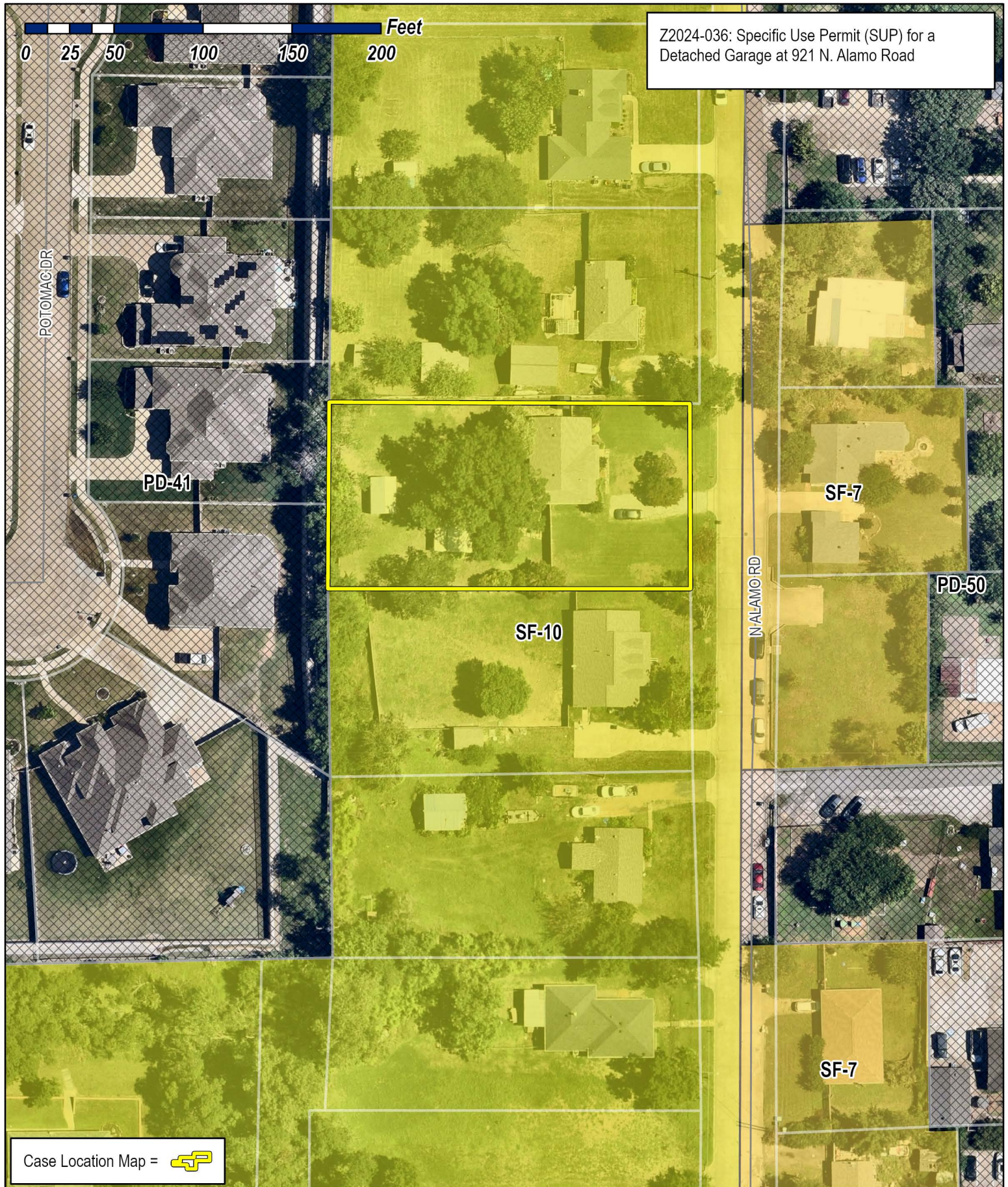
OWNER'S SIGNATURE

[Signature]


NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

Candas Yarborough





Z2024-036: Specific Use Permit (SUP) for a Detached Garage at 921 N. Alamo Road

Case Location Map = 



# City of Rockwall

Planning & Zoning Department  
 385 S. Goliad Street  
 Rockwall, Texas 75087  
 (P): (972) 771-7745  
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



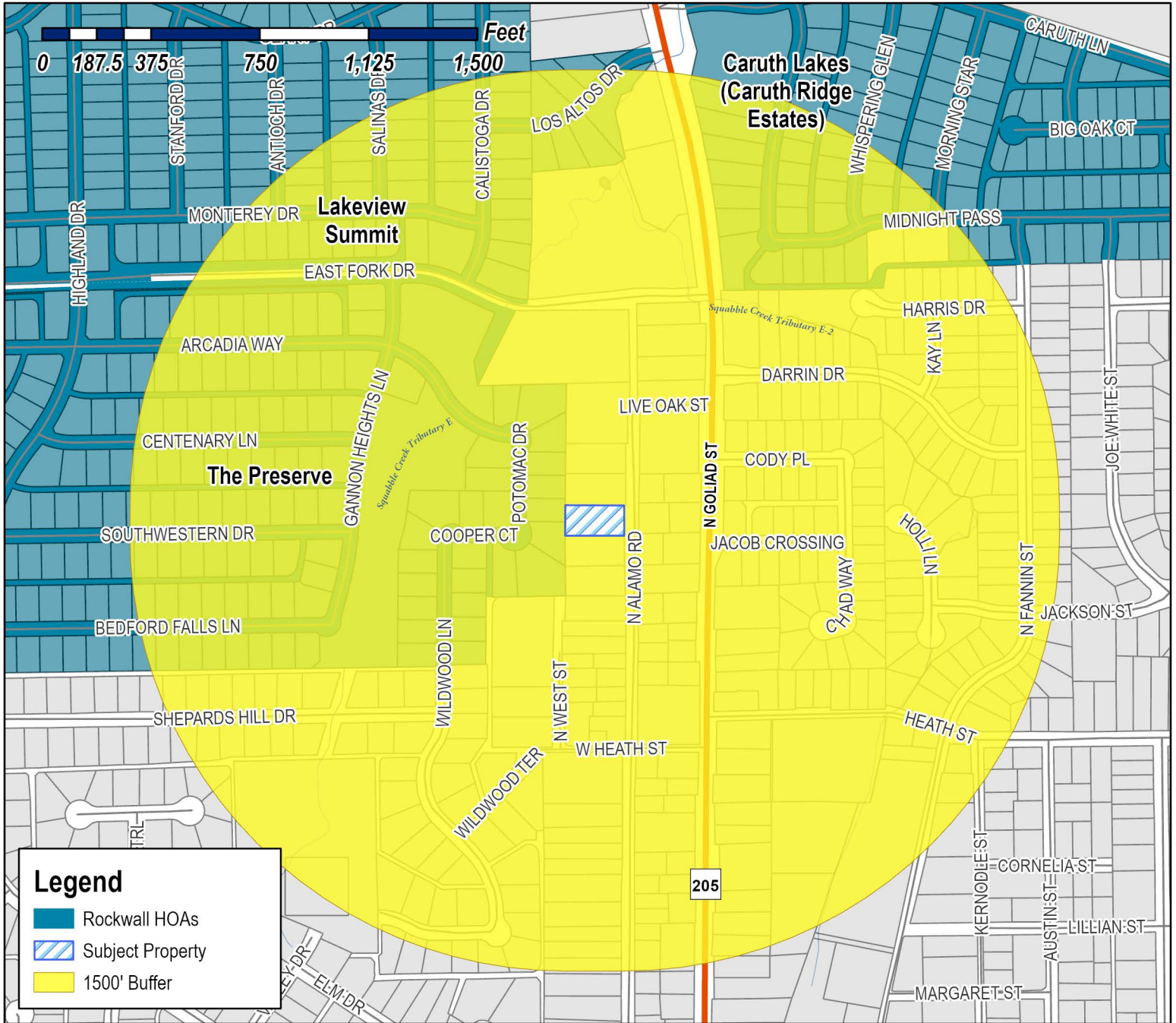




# City of Rockwall

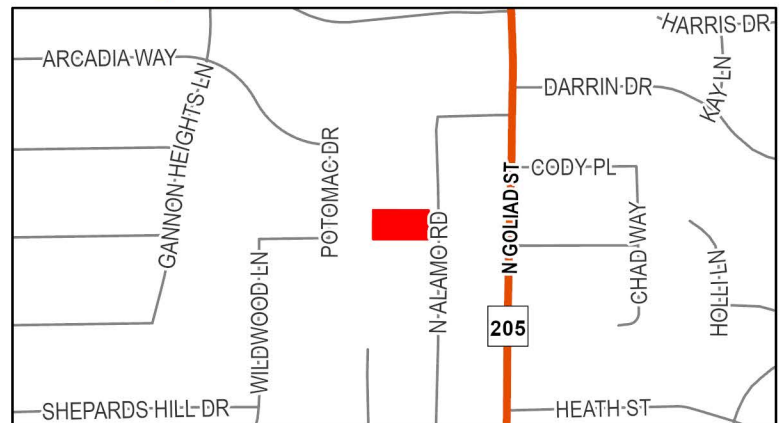
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**Case Number:** Z2024-036  
**Case Name:** SUP for a Detached Garage  
**Case Type:** Zoning  
**Zoning:** Single-Family 10 (SF-10) District  
**Case Address:** 921 N. Alamo Road

**Date Saved:** 8/15/2024  
 For Questions on this Case Call (972) 771-7745



## Ross, Bethany

---

**From:** Zavala, Melanie  
**Sent:** Wednesday, August 21, 2024 2:54 PM  
**Cc:** Miller, Ryan; Ross, Bethany; Lee, Henry; Guevara, Angelica  
**Subject:** Neighborhood Notification Email [Z2024-036]  
**Attachments:** HOA Map (08.15.2024).pdf; Public Notice (P&Z) (08.19.2024).pdf

HOA/Neighborhood Association Representative:

Per your participation in the *Neighborhood Notification Program*, you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that will be published in the Rockwall Herald Banner on *Friday, August 23, 2024*. The Planning and Zoning Commission will hold a public hearing on *Tuesday, September 10, 2024 at 6:00 PM*, and the City Council will hold a public hearing on *Monday, September 16, 2024 at 6:00 PM*. Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to [Planning@rockwall.com](mailto:Planning@rockwall.com) at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website: <https://sites.google.com/site/rockwallplanning/development/development-cases>.

### **Z2024-036: SUP for a Detached Garage**

*Hold a public hearing to discuss and consider a request by Travis Block for the approval of a Specific Use Permit (SUP) for a Detached Garage on a 0.53-acre tract of land identified as a portion of Block 4 of the Gardener Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 10 (SF-10) District, situated within the North SH-205 Overlay (N. SH-205 OV) District, addressed as 921 N. Alamo Street, and take any action necessary.*

Thank you,

***Melanie Zavala***

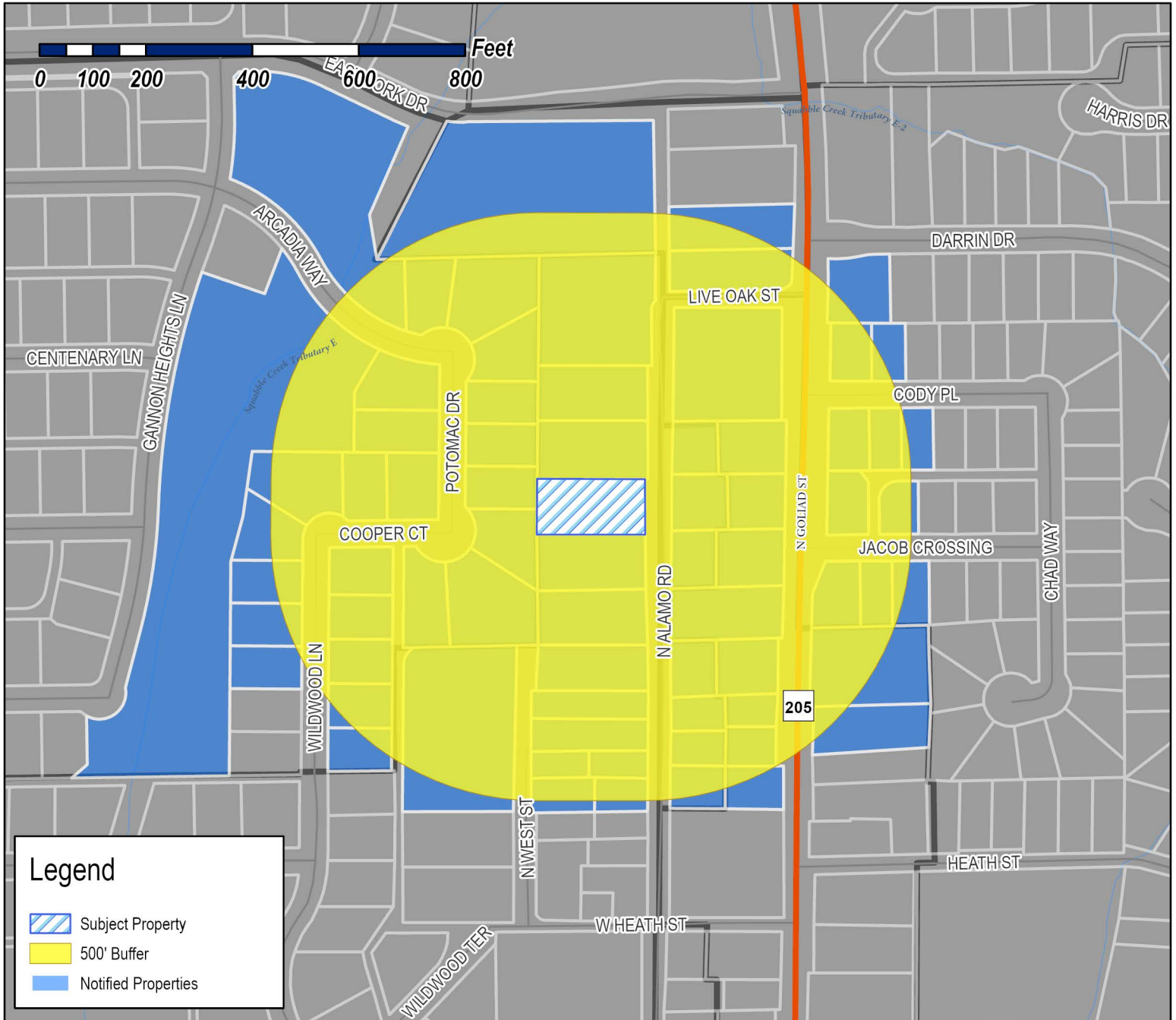
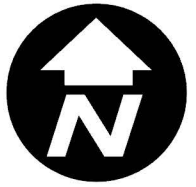
Planning & Zoning Coordinator | Planning Dept. | City of Rockwall  
385 S. Goliad Street | Rockwall, TX 75087  
[Planning & Zoning Rockwall](http://www.rockwalltx.gov/planning-zoning)  
972-771-7745 Ext. 6568



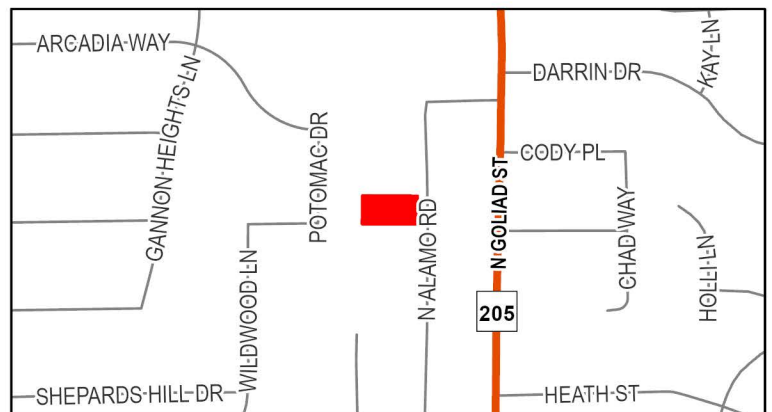
# City of Rockwall

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**Case Number:** Z2024-024  
**Case Name:** SUP for a Detached Garage  
**Case Type:** Zoning  
**Zoning:** Single-Family 10 (SF-10) District  
**Case Address:** 921 N. Alamo Road



**Date Saved:** 8/15/2024

For Questions on this Case Call: (972) 771-7745

RESIDENT  
1001 N GOLIAD  
ROCKWALL, TX 75087

CALLIER JENNA AND LOGAN  
104 RUSH CREEK  
HEATH, TX 75032

CURANOVIC JOHN  
109 ELM CREST DR  
ROCKWALL, TX 75087

JARED LANDON CAIN 2005 TRUST  
1150 CRESTCOVE DR  
ROCKWALL, TX 75087

DAFFRON JAMES R AND DEBBIE A  
12207 DARK HOLLOW RD  
ROCKWALL, TX 75087

VANDERSLICE R D AND LYNN  
1408 S LAKESHORE DR  
ROCKWALL, TX 75087

STRATEGIC MANAGEMNET SERVICES LLC  
14124 EDGECREST DR  
DALLAS, TX 75254

DOUBLE T VENTURES LLC  
1500 S KREYMER LN  
WYLIE, TX 75098

BARNETT JOSEPH RODNEY & LADONNA  
1855 HIDDEN HILLS  
ROCKWALL, TX 75087

CARLON WILLIAM ANDREW  
192 JACOB CROSSING  
ROCKWALL, TX 75087

FRYER WILLIAM L III AND LAUREN S  
193 JACOB CROSSING  
ROCKWALL, TX 75087

RESIDENT  
194 CODY PLACE  
ROCKWALL, TX 75087

CROY DANNY L  
195 CODY PL  
ROCKWALL, TX 75087

RESIDENT  
196 JACOB CROSSING  
ROCKWALL, TX 75087

STEWART DEBORAH LYNN  
196 DARRIN DR  
ROCKWALL, TX 75087

RESIDENT  
198 CODY PLACE  
ROCKWALL, TX 75087

KEANE PARKER F  
199 CODY PL  
ROCKWALL, TX 75087

CHARLES & JANE SIEBERT LIVING TRUST  
CHRISTOPHER CHARLES SIEBERT & JANE M  
SIEBERT - TRUSTEES  
199 JACOB XING  
ROCKWALL, TX 75087

917 PROPERTIES LLC  
2 MANOR COURT  
HEATH, TX 75032

VANILLA BEAN PROPERTIES SERIES 5 LLC  
2 MANOR COURT  
HEATH, TX 75032

RESIDENT  
200 JACOB CROSSING  
ROCKWALL, TX 75087

MILLER ROBERT AND KATY  
202 CODY PL  
ROCKWALL, TX 75087

ADAMS FAITH INVESTMENT LLC  
208 SUMMIT RIDGE  
ROCKWALL, TX 75087

WEST MICHAEL  
299 SHENNENDOAH LANE  
ROCKWALL, TX 75087

AUSTIN MICHAEL CAIN 2005 TRUST  
301 COOPER COURT  
ROCKWALL, TX 75087

MATTINGLY LESLIE G AND JENNIFER S TRUSTEES  
2023 G J MATTINGLY REVOCABLE TRUST  
302 ARCADIA WAY  
ROCKWALL, TX 75087

HARKLAU CAROLINE  
312 DARTBROOK  
ROCKWALL, TX 75087

METOYER GREGORY K AND FRANCES M  
317 COOPER STREET  
ROCKWALL, TX 75087

WEAST BRIAN J AND  
CYNTHIA C BROWN  
318 ARCADIA WAY  
ROCKWALL, TX 75087

WEBER MARY JANE  
318 COOPER CT  
ROCKWALL, TX 75087

BOLER RICKY D JR AND  
NANCY L GUTIERREZ  
334 COOPER COURT  
ROCKWALL, TX 75087

RESIDENT  
348 COOPER CT  
ROCKWALL, TX 75087

RB40 INVESTMENTS LLC  
400 CHIPPENDALE DRIVE  
HEATH, TX 75032

TURNER KYLE RADEY  
4002 BROWNSTONE CT  
DALLAS, TX 75204

ADAT ESTATE LLC  
482 ARCADIA WAY  
ROCKWALL, TX 75087

CANUP DAVID & PATRICIA  
602 W RUSK ST  
ROCKWALL, TX 75087

FRANK RYAN ANDREW AND WHITNEY JANE  
702 WILDWOOD LANE  
ROCKWALL, TX 75087

SANDERSON SCOTT FREDERICK AND CELESTIAL  
DAWN  
718 WILDWOOD LANE  
ROCKWALL, TX 75087

MAYNARD JEREMY SHAME AND  
AMY ELIZABETH FLORES  
731 WILDWOOD LANE  
ROCKWALL, TX 75087

PHILIPS SHIBU & LEJI  
734 WILDWOOD LN  
ROCKWALL, TX 75087

HENDRICKSON PAUL A AND PATRICIA A  
747 WILDWOOD LANE  
ROCKWALL, TX 75087

RECSA 911 NORTH GOLIAD STREET SERIES  
750 JUSTIN RD  
ROCKWALL, TX 75087

MCDONALD JR EDWARD & KAYLA  
752 WILDWOOD LN  
ROCKWALL, TX 75087

CRAWFORD HAROLD E JR  
763 WILDWOOD LANE  
ROCKWALL, TX 75087

OLDEN FREDERICK EINER AND LISA HALSTEAD  
768 WILDWOOD LN  
ROCKWALL, TX 75087

MATTINGLY MICHAEL ANTHONY AND EMILY P  
779 WILDWOOD LANE  
ROCKWALL, TX 75087

MASON MARK S & TAMARA M  
802 POTOMAC DRIVE  
ROCKWALL, TX 75087

STEPHEN PRAMELA AND STEPHEN JOHN  
818 POTOMAC DR  
ROCKWALL, TX 75087

AIBKHANOV ASHOT AND JOLI RASHID  
834 POTOMAC DR  
ROCKWALL, TX 75087

MCCULLEY LIVING TRUST  
DARREN WAYNE MCCULLEY & MICHELE JUNE  
MCCULLEY - CO-TRUSTEES  
837 POTOMAC DR  
ROCKWALL, TX 75087

KUNJACHEN BLESSY AND SHIBU  
852 POTOMAC DRIVE  
ROCKWALL, TX 75087

MAYTAK LINA & MARK HILSTAD  
853 POTOMAC DRIVE  
ROCKWALL, TX 75087

PALMER WINDY E AND DONALD L  
868 POTOMAC DRIVE  
ROCKWALL, TX 75087

RESIDENT  
905 N GOLIAD  
ROCKWALL, TX 75087

WILLIAMS RICKY AND ELIZABETH  
906 N ALAMO RD  
ROCKWALL, TX 75087

WILLIAMS RICKY AND ELIZABETH  
906 N ALAMO RD  
ROCKWALL, TX 75087

RESIDENT  
907 N GOLIAD ST  
ROCKWALL, TX 75087

JC GAERLAN LLC  
907 NORTH ALAMO ROAD  
ROCKWALL, TX 75087

PIERCE CAROLYN AND RUSSELL DAVID  
908 N ALAMO RD  
ROCKWALL, TX 75087

HEAVENLY HANDS BIRTHING CENTER PLLC  
908 N GOLIAD ST  
ROCKWALL, TX 75087

MARTINKUS NICOLE  
908 N WEST ST  
ROCKWALL, TX 75087

MOLINA JOE C II  
909 N ALAMO  
ROCKWALL, TX 75087

RESIDENT  
909 N GOLIAD  
ROCKWALL, TX 75087

MCFADIN SARA TERESA  
909 N WEST STREET  
ROCKWALL, TX 75087

ZAVALA VICTOR V  
910 N ALAMO RD  
ROCKWALL, TX 75087

PERRY RUBY DELL  
910 N WEST ST  
ROCKWALL, TX 75087

WHITE TIMOTHY E  
9104 PRIVATE ROAD 2325  
TERRELL, TX 75160

LEWIS BEN  
911 N ALAMO  
ROCKWALL, TX 75087

RESIDENT  
911 N GOLIAD  
ROCKWALL, TX 75087

JONES PAMELA J  
912 N ALAMO RD  
ROCKWALL, TX 75087

RESIDENT  
912 N GOLIAD  
ROCKWALL, TX 75087

RESIDENT  
913 N ALAMO RD  
ROCKWALL, TX 75087

BAXTER JAKE STEPHEN AND CATHERINE  
ELIZABETH  
915 N ALAMO RD  
ROCKWALL, TX 75087

RESIDENT  
915 N GOLIAD  
ROCKWALL, TX 75087

RESIDENT  
917 N ALAMO  
ROCKWALL, TX 75087

RESIDENT  
917 N GOLIAD  
ROCKWALL, TX 75087

RESIDENT  
918 N ALAMO  
ROCKWALL, TX 75087

RESIDENT  
919 N ALAMO  
ROCKWALL, TX 75087

RESIDENT  
919 N GOLIAD  
ROCKWALL, TX 75087

BLOCK AMY AND TRAVIS  
921 N ALAMO RD  
ROCKWALL, TX 75087

BARRY BARBARA  
922 N ALAMO RD  
ROCKWALL, TX 75087

HUDSON SHELI O  
923 N ALAMO  
ROCKWALL, TX 75087

CHAVEZ ENRIQUE  
923 N GOLIAD ST  
ROCKWALL, TX 75087

RESIDENT  
924 N ALAMO  
ROCKWALL, TX 75087

CRAWFORD JUANITA LIFE ESTATE AND  
MICHAEL CRAWFORD  
925 N ALAMO  
ROCKWALL, TX 75087

RESIDENT  
925 N GOLIAD  
ROCKWALL, TX 75087

RESIDENT  
975 N ALAMO  
ROCKWALL, TX 75087

THE PRESERVE HOMEOWNERS ASSOCIATION  
INC  
P.O. BOX 702348  
DALLAS, TX 75370

THE PRESERVE HOMEOWNERS ASSOCIATION  
INC  
P.O. BOX 702348  
DALLAS, TX 75370

CFPC INVESTMENTS LLC  
PO BOX 1731  
MARBLE FALLS, TX 78654

# PUBLIC NOTICE



CITY OF ROCKWALL  
PLANNING AND ZONING DEPARTMENT  
PHONE: (972) 771-7745  
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

**Z2024-036: SUP for a Detached Garage**

*Hold a public hearing to discuss and consider a request by Travis Block for the approval of a Specific Use Permit (SUP) for a Detached Garage on a 0.53-acre tract of land identified as a portion of Block 4 of the Gardener Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 10 (SF-10) District, situated within the North SH-205 Overlay (N. SH-205 OV) District, addressed as 921 N. Alamo Street, and take any action necessary.*

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, September 10., 2024 at 6:00 PM, and the City Council will hold a public hearing on Monday, September 16, 2024 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

**Bethany Ross**  
Rockwall Planning and Zoning Dept.  
385 S. Goliad Street  
Rockwall, TX 75087

You may also email your comments to the Planning Department at [planning@rockwall.com](mailto:planning@rockwall.com). If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, September 16, 2024 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

**Ryan Miller, AICP**  
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

PLEASE RETURN THE BELOW FORM

**Case No. Z2024-036: SUP for a Detached Garage**

**Please place a check mark on the appropriate line below:**

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

Name:

Address:

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

## Ross, Bethany

---

**From:** Dyron M Durham <dyrondurham@yahoo.com>  
**Sent:** Monday, August 26, 2024 9:47 AM  
**To:** Planning; Hailey Hosak  
**Subject:** Case Number: Z2024-036

We are in favor of this request for a detached garage.

Dyron Durham 975 N Alamo Dr Rockwall, TX 75087

[Yahoo Mail: Search, Organize, Conquer](#)

**CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.**

**CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.**



# Zoning & Specific Use Permit Input Form

## Case Number \*

Please provide the Case Reference Number of the Zoning or Specific Use Permit (SUP) request that you are providing input on (Example: Z2019-001).

Z2024-024

Please place a check mark on the appropriate line below: \*

I am in favor of the request.

I am in opposition to the request.

Please provide any additional information concerning your support or opposition to the request.

Approve of detached garage built

## Respondent Information

Please provide your information.

## First Name \*

Lina

Last Name \*

Hilstad

Address \*

853 Potomac Drive

City \*

Rockwall

State \*

Texas

Zip Code \*

75087

Please check all that apply: \*

- I live nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I work nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I own property nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I own a business nearby the proposed Zoning or Specific Use Permit (SUP) request.
- Other: .....

How did you hear about this Zoning or Specific Use Permit (SUP) request? \*

- I received a property owner notification in the mail.
- I read about the request on the City's website.
- I saw a zoning sign on the property.
- I read about the request in the Rockwall Herald Banner.
- My neighbors told me about the request.
- Other: .....

This content is neither created nor endorsed by Google.

Google Forms

## Ross, Bethany

---

**From:** Sara McFadin <saramcfadin@gmail.com>  
**Sent:** Saturday, August 24, 2024 1:57 PM  
**To:** Planning  
**Subject:** Case #Z2024-036:SUP for a Detached Garage

My name is Sara McFadin  
909 N West St, Rockwall, TX 75087

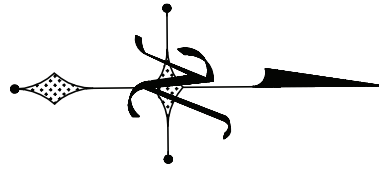
I am in favor of the request for detached garage. Its their property and they should be able to build what they need.

Regards,

Sara McFadin

**CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.**

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1529 E I-30, STE. 103  
GARLAND, TEXAS 75043

# SURVEY PLAT



FIRM REGISTRATION NO. 10194366

BARRY S. RHODES Registered Professional Land Surveyor (214) 326-1090

This is to certify that I have, this date, made a careful and accurate survey on the ground of property located at No. 357 N. ALAMO ROAD, in the city of ROCKWALL Texas.

All that certain lot, tract or parcel of land situated in the J.H.B. SURVEY, Abstract No. 124, City of Rockwall, Rockwall County, Texas and being a tract of land described in deed to Corky Belanger, by deed recorded in Instrument Number 2020000030622, Deed Records, Rockwall County, Texas, (D.R.R.C.T.) and being more particularly described by metes and bounds as follows:

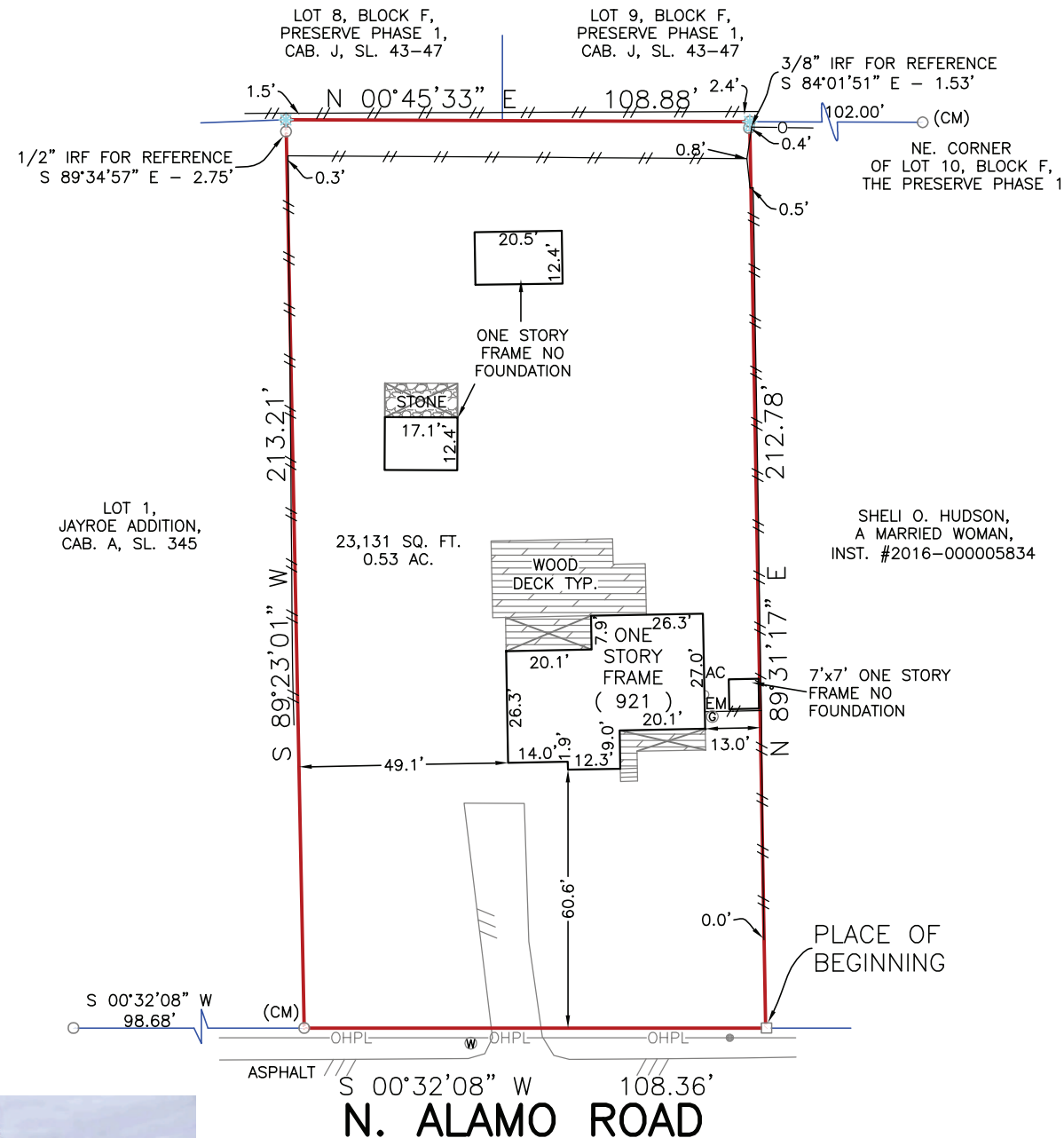
BEGINNING at a railroad spike found for corner being in the West line of N. Alamo Road and being at the Southwest corner of a tract of land described in deed to Sheli O. Hudson, a married woman, by deed recorded in Instrument Number 2016-000005834, (D.R.R.C.T.) and being at the Northeast corner of that tract herein described;

THENCE South 00 degrees 32 minutes 08 seconds West, a distance of 108.36 feet to a 1/2 inch iron rod found for corner, being at the Northeast corner of Lot 1, of Jayroe Addition, an addition recorded in Cabinet A, Slide 346, of the Map or Plat Records, Rockwall County, Texas;

THENCE South 89 degrees 23 minutes 01 seconds West, a distance of 213.21 feet to a point for corner, being in the East line of Lot 8, Block F, of Preserve Phase 1, an Addition recorded in Cabinet J, Slide 43-47, of the Map or Plat Records, Rockwall County, Texas, from which a 1/2 inch iron rod found bears South 89 degrees 34 minutes 57 seconds East, 2.75 feet for reference;

THENCE North 0 degrees 45 minutes 33 seconds East, a distance of 108.88 feet to a point for corner, being in the East line of Lot 9, of said Preserve Phase 1, from which a 3/8 inch iron rod found bears South 84 degrees 01 minutes 51 seconds East, 1.53 feet for reference;

THENCE North 89 degrees 31 minutes 17 seconds East, a distance of 212.78 feet to the PLACE OF BEGINNING and containing 23,131 square feet or 0.53 of an acre of land.



BEARINGS ARE BASED ON NAD 83  
DATUM, TEXAS STATE PLANE  
COORDINATE SYSTEM. NORTH  
CENTRAL ZONE

ACCEPTED BY: \_\_\_\_\_



The plat hereon is true, correct, and accurate representation of the property as determined by survey, the lines and dimensions of said property being as indicated by the plat; the size, location and type of building and improvements are as shown, all improvements being within the boundaries of the property, set back from property lines the distance indicated, or visible and apparent easements.

TITLE AND ABSTRACTING WORK FURNISHED BY LAWYERS TITLE

THERE ARE NO ENCROACHMENTS, CONFLICTS, OR PROTRUSIONS, EXCEPT AS SHOWN.

Scale: 1" = 40'

Date: 02/10/23

G. F. No.: 1901462300020

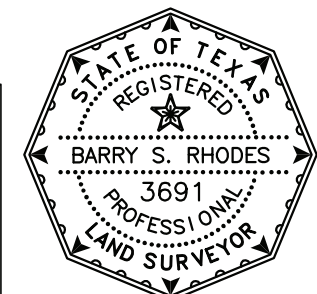
Job no.: 202300799

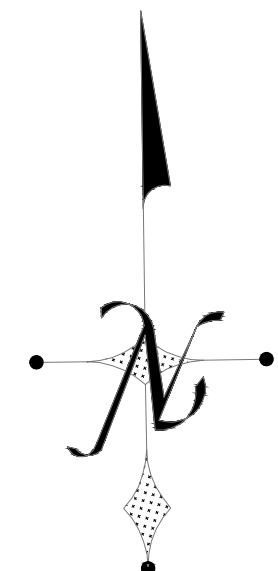
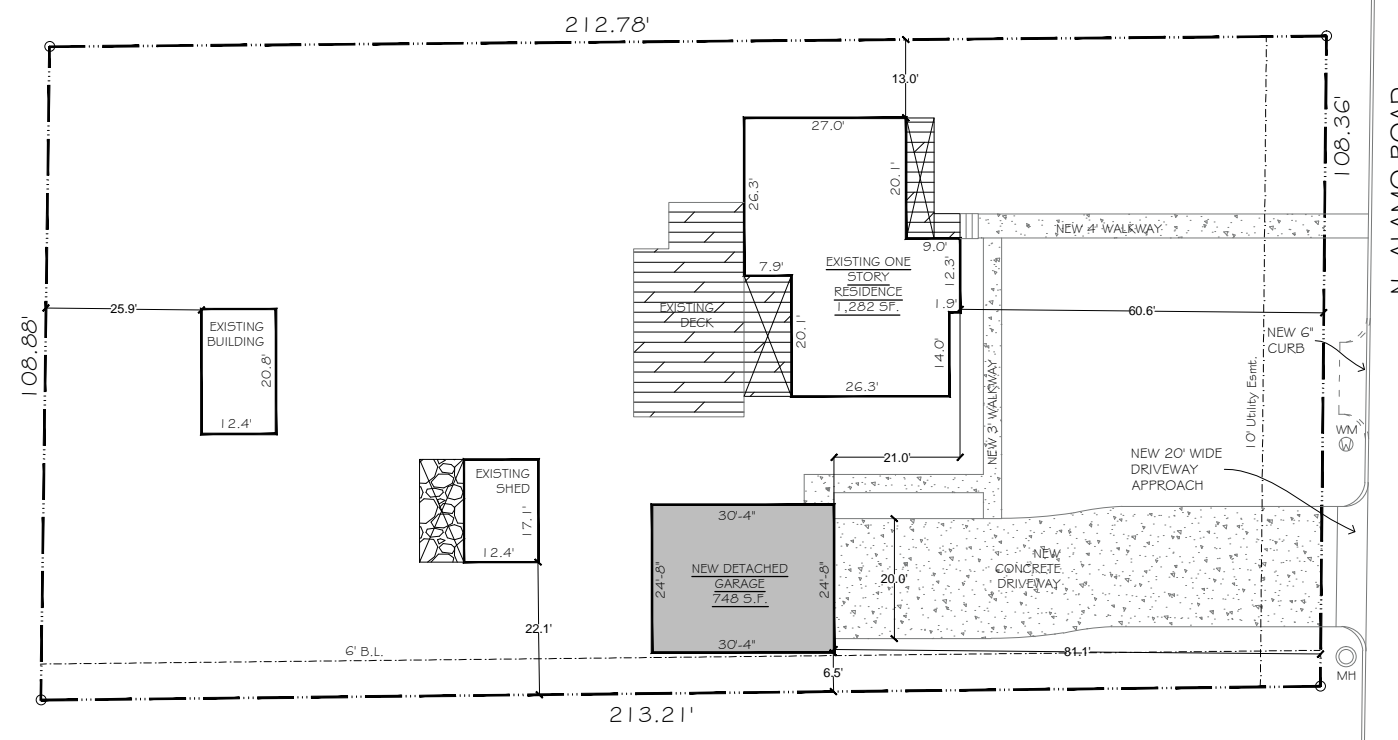
Drawn by: J.M.

USE OF THIS SURVEY FOR ANY OTHER PURPOSE OR OTHER PARTIES SHALL BE AT THEIR RISK AND UNDERSIGNED IS NOT RESPONSIBLE TO OTHER FOR ANY LOSS RESULTING THEREFROM.  
THIS SURVEY WAS PERFORMED EXCLUSIVELY FOR LAWYERS TITLE

LEGEND

WOOD FENCE	---//---	IRON FENCE	---//---	
CHAIN LINK	---o---	WIRE FENCE	---x---	
BOUNDARY LINE	---			
EASEMENT SETBACK	---			
CM	○	CONTROLLING MONUMENT		
MRD	○	MONUMENTS OF RECORD DIGNITY		
○	○	1/2" IRON ROD FOUND		
○	○	1/2" YELLOW-CAPPED IRON ROD SET		
○	○	SET 'X' RR. SPIKE FOUND		
○	○	3/8" IRON ROD FOUND		
○	○	5/8" IRON ROD FOUND		
○	○	POINT FOR CORNER		
○	○	CABLE	○	ELECTRIC
○	○	CLEAN OUT	○	PE - POOL EQUIP
○	○	GAS METER	○	POWER POLE
○	○	FIRE HYDRANT	○	TELEPHONE
○	○	LIGHT POLE	○	WATER METER
○	○	MANHOLE	○	WATER VALVE
○	○	(UNLESS OTHERWISE NOTED)		





**SITE PLAN**  
SCALE: 1/32" = 1'-0"

SITE PLAN INFORMATION	
LOT SIZE	23,130 S.F.
BUILDING AREA	3,208 S.F.
PERCENT LOT COVERED	13.86%
A MINIMUM OF 70% OF THE NON-ROOF AREA OF THE LOT COVERED WILL HAVE LANDSCAPE (GRASS, TREES, ETC.)	

**Vecinity Map**

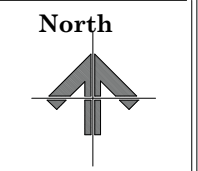


**Applicable Codes**

- 2021 IBC    2023 NEC
- 2021 IRC
- 2021 IECC
- 2021 IPC

**Project Description**

This project is a new construction of a detached garage of 748 s.f. over reinforced concrete slab.



THESE PLANS ARE INTENDED TO PROVIDE BASIC CONSTRUCTION/DESIGN INFORMATION NECESSARY TO COMPLETE THIS STRUCTURE. ALL PORTIONS OF THE WORK, INCLUDING PLUMBING, MECHANICAL AND ELECTRICAL SHALL BE PERFORMED IN FULL COMPLIANCE WITH ALL APPLICABLE CITY, COUNTY, STATE AND NATIONAL CODES. BUILDER RESERVES THE RIGHT TO MODIFY THESE PLANS AS REQUIRED. LOCAL CODES, ORDINANCES, AND RESTRICTIONS WILL APPLY SHOULD A DISCREPANCY OCCUR BETWEEN THE PLANS AND LOCAL REQUIREMENTS.

**921 N. Alamo Rd.**  
**Rockwall, Texas 75087**

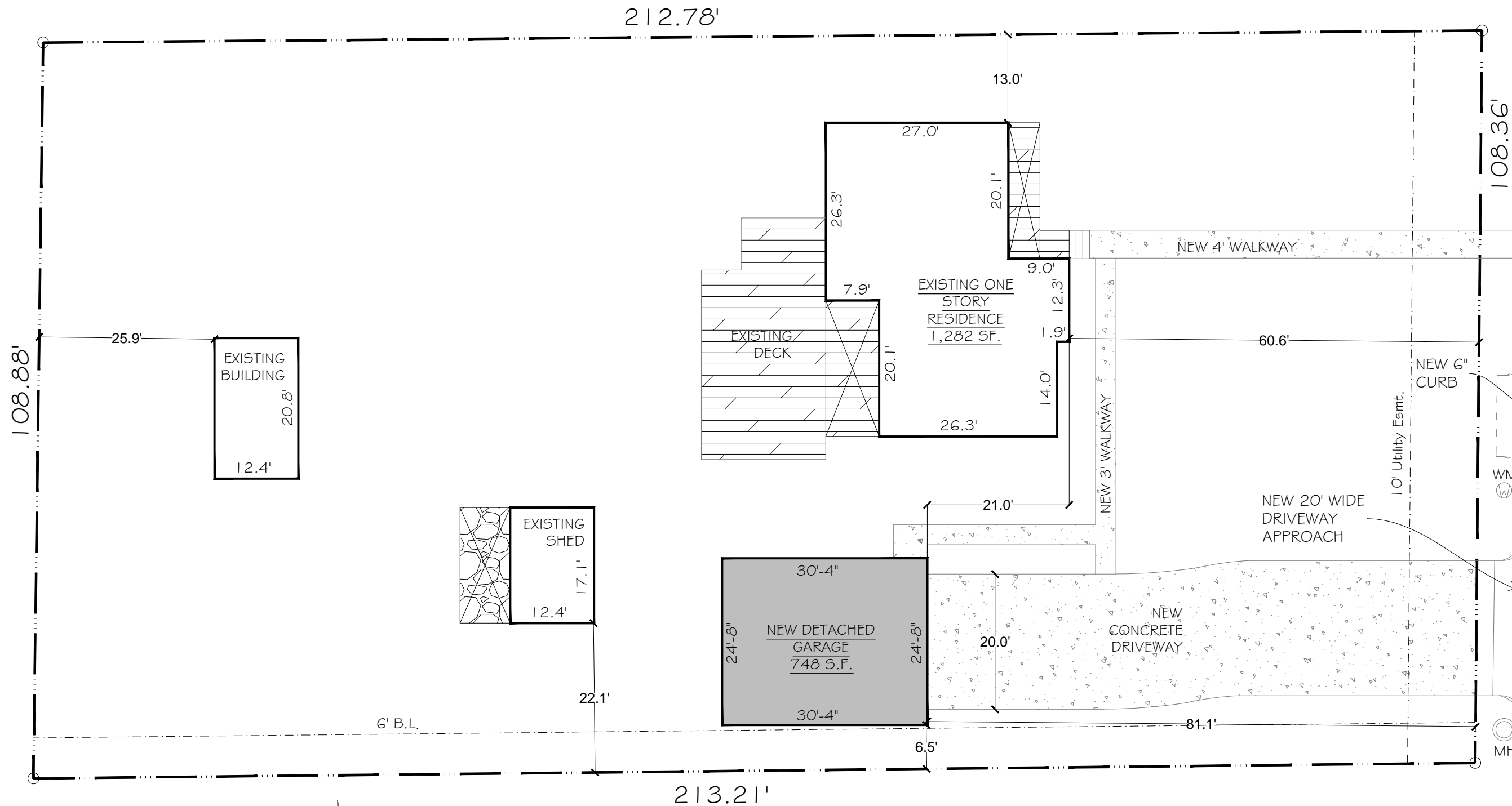
GARNER BLOCK PART 4

**Date**  
July 1, 2024

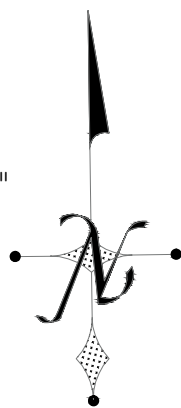
**Sheet Title**  
SITE PLAN

**Scale**  
1/32" = 1'-0"

**Sheet No.**  
**1**  
1 of 14



SITE PLAN  
SCALE: 1/16" = 1'-0"



North



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921 N. Alamo Rd.  
Rockwall, Texas 75087

GARNER BLOCK PART 4

Date  
July 1, 2024

Sheet Title

SITE PLAN

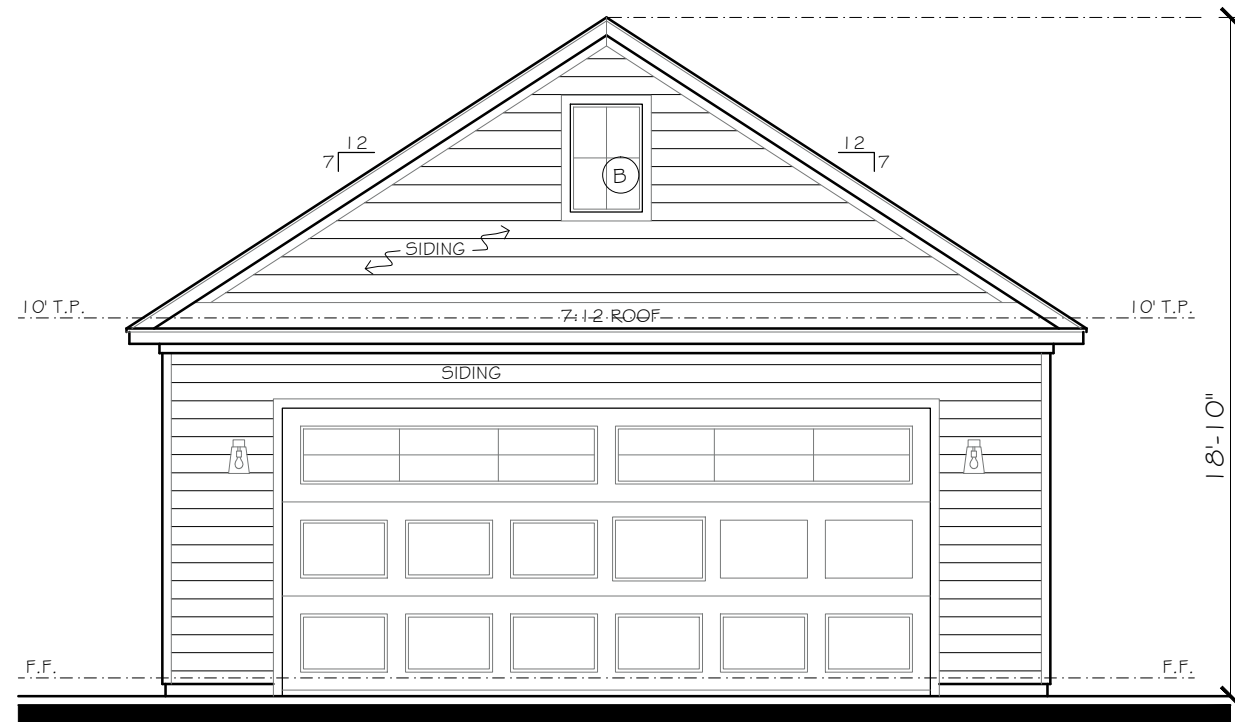
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Sheet No.

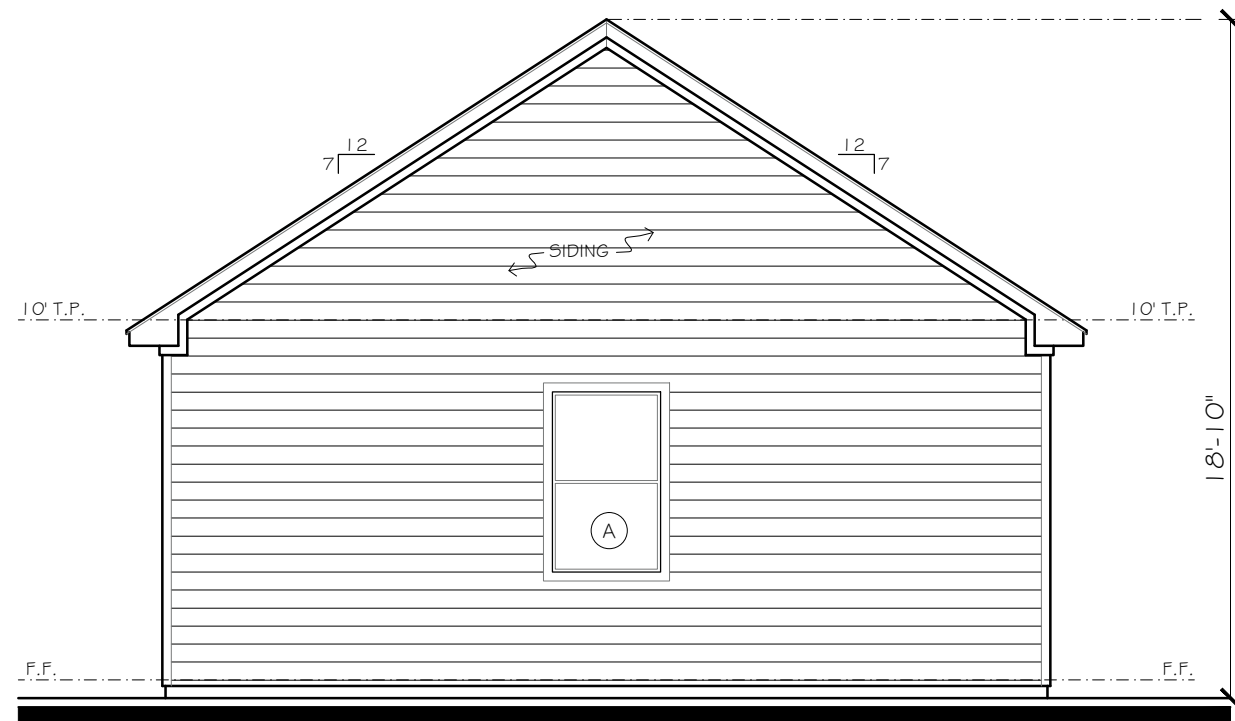
2

1 of 14

N. ALAMO ROAD

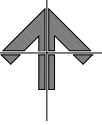


**FRONT ELEVATION** SCALE: 3/16" = 1'-0"



**REAR ELEVATION** SCALE: 3/16" = 1'-0"

North



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921 N. Alamo Rd.  
Rockwall, Texas 75087

GARNER BLOCK PART 4

Date  
July 1, 2024

Sheet Title

ELEVATIONS

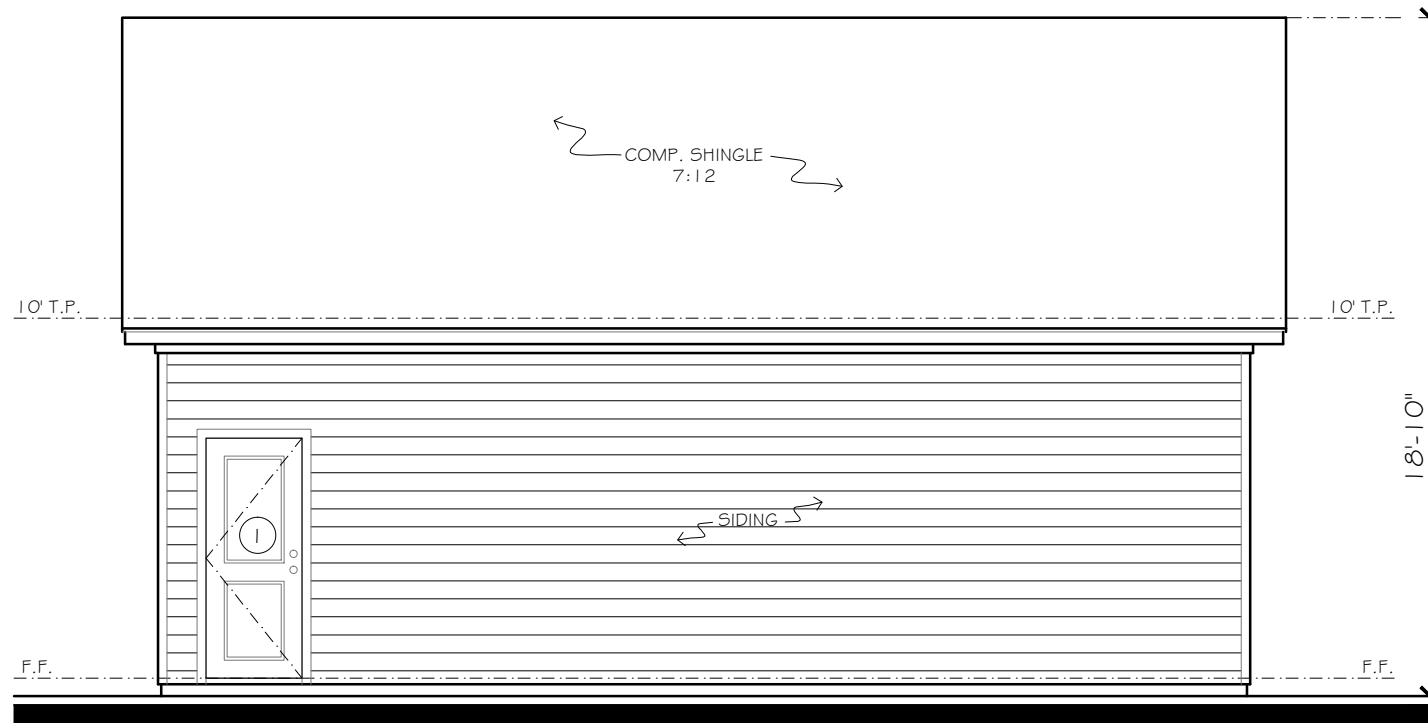
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Sheet No.

4

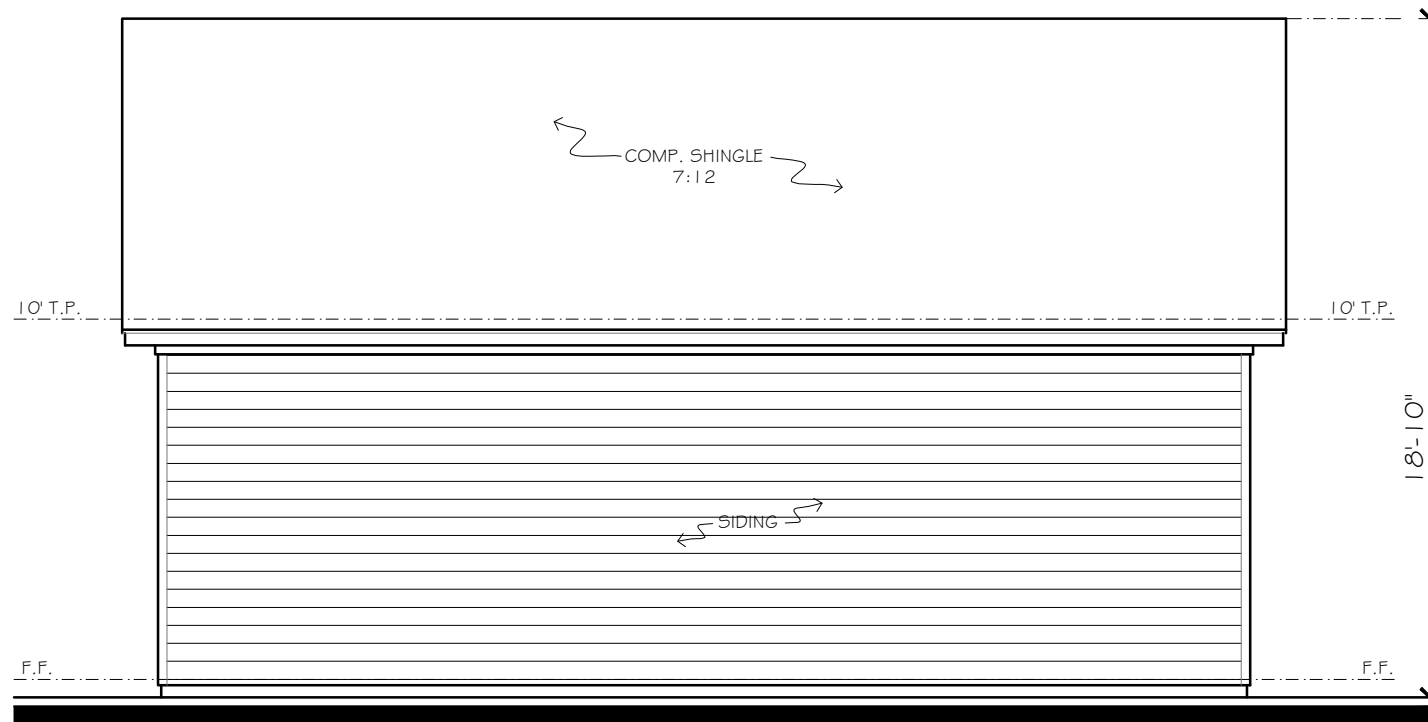
3 of 14





RIGHT ELEVATION

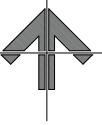
SCALE: 3/16" = 1'-0"



LEFT ELEVATION

SCALE: 3/16" = 1'-0"

North



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921 N. Alamo Rd.  
Rockwall, Texas 75087

GARNER BLOCK PART 4

Date

July 1, 2024

Sheet Title

ELEVATIONS

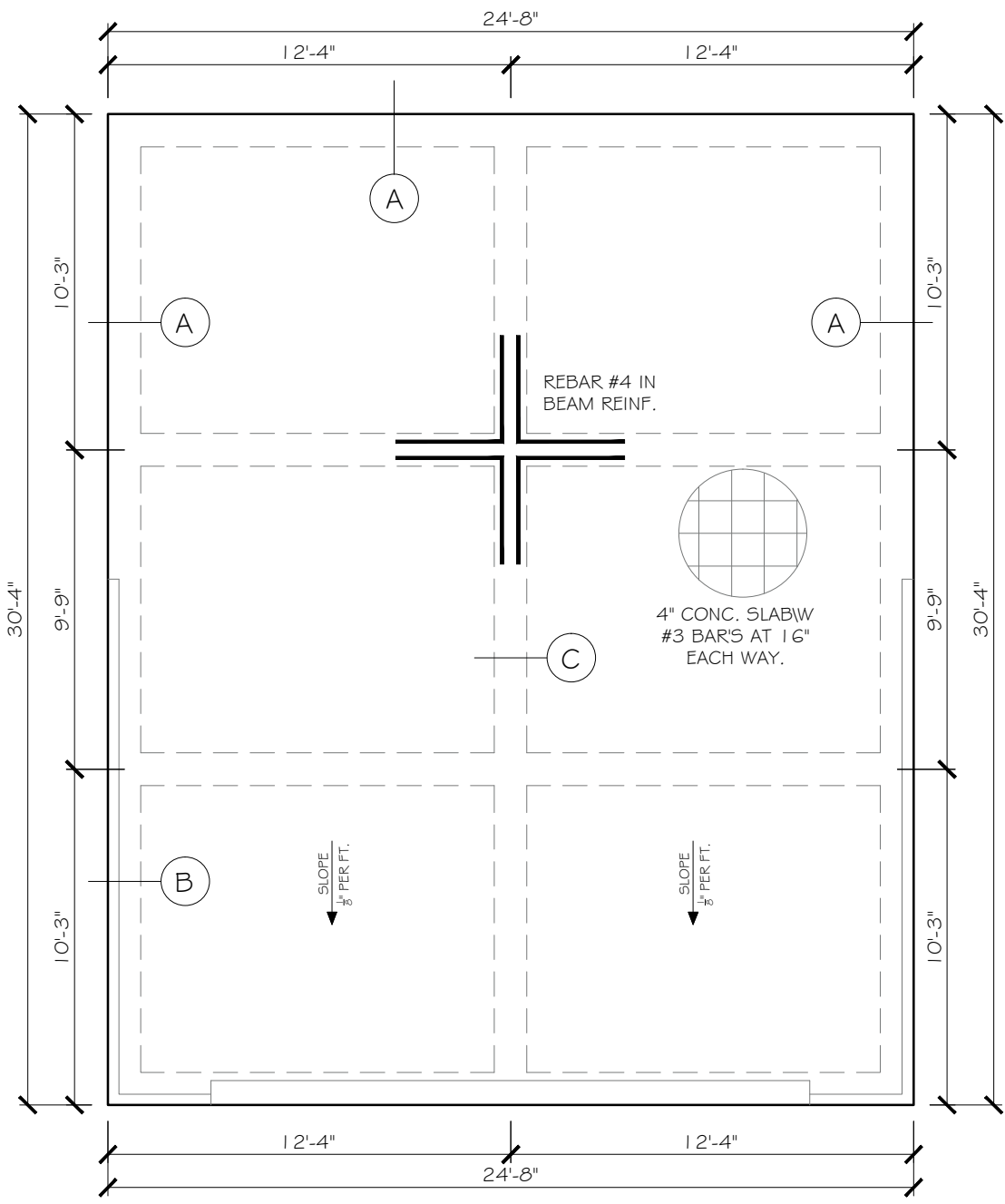
Scale

3/16" = 1'-0"

Sheet No.

5

3 of 14

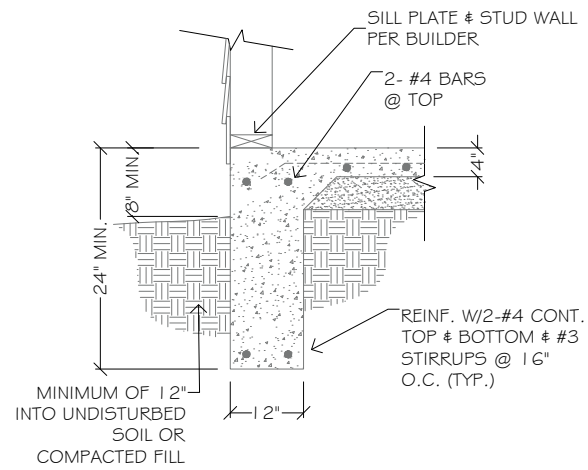


### FOUNDATION PLAN

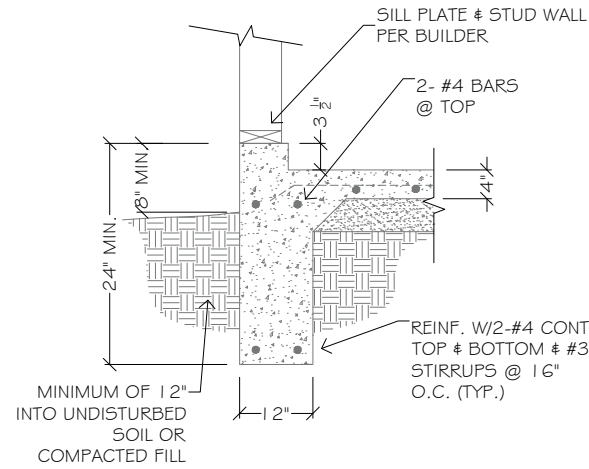
SCALE: 3/16" = 1'-0"

#### CONCRETE NOTES

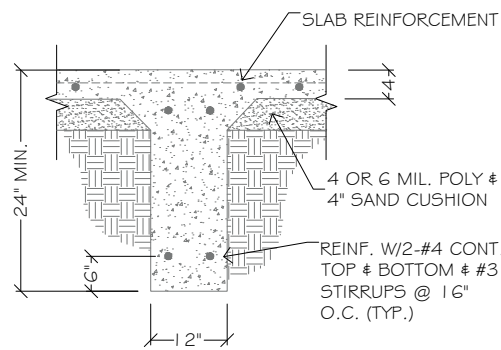
- A. EXCAVATE EXISTING SOIL +/- 6" DEEP TO 24" DEEP AND REMOVE TO OFF SITE LOCATION
- B. FOUNDATION SLAB SHALL BE 4" THICK OFF 3,000 PSI REINFORCED CONCRETE.
- C. CONCRETE SLAB SHALL BE PLACED OVER 4" THICK SAND AND GRAVEL CUSHION APPLY LAYER OF 4 MIL THICK VAPOR BARRIER OF POLYETHYLENE BELOW SLAB.
- D. UNDISTURBED SOIL SHALL BE COMPACTED TO 90% PROCTOR PRIOR TO PLACEMENT OF SAND CUSHION.
- E. ALL CONCRETE BEAM SHALL BE 12" WIDE AND 24" DEEP WITH REINFORCING AS INDICATED.
- F. AT ALL BEAM INTERSECTIONS, SHALL HAVE #3 CORNER BAR REINFORCING AND SHALL LAP BEAM REINFORCING NOT LESS THAN 18"
- G. ALL CONCRETE SHALL HAVE A MINIMUM 28 DAY, 3,000 PSI COMPRESSIVE STRENGTH.
- H. ADMIXTURES CONTAINING CHLORIDES, SULPHATE, NITRATES AND FLY ASH ARE NOT PERMITTED.
- I. REINFORCING STEEL SHALL BE NEW BILLET STEEL CONFORMING TO ASTM A-65, GRADE 60, EXCEPT No. 3 BARS MAY BE GRADE 40.
- J. FURNISH AND INSTALL EXPANSION JOINT BETWEEN EXISTING CONCRETE SLAB AND NEW CONCRETE SLAB.
- K. NEW SLAB TO HAVE SMOOTH TOP FINISH
- L. REMOVE FORM BOARDS AND RUB OUT ANY HONEYCOMB AREAS.
- M. FILL IN AROUND NEW CONCRETE WITH NATIVE SOIL.



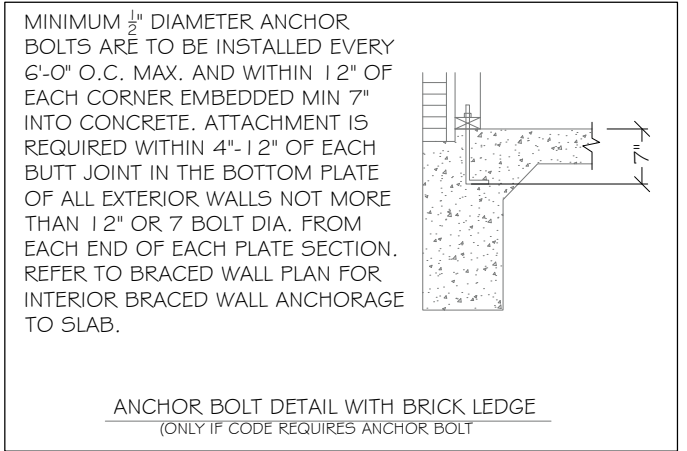
**A** EXTERIOR BEAM SIDING  
N.T.S.



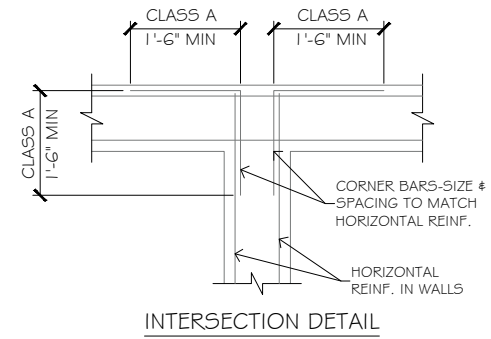
**B** EXTERIOR BEAM @ GARAGE  
N.T.S.



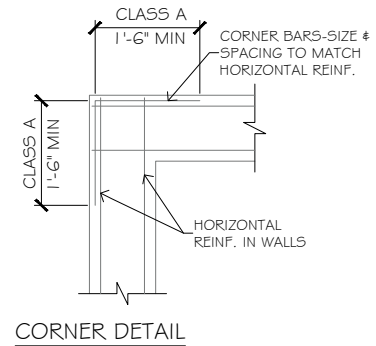
**C** INTERIOR BEAM  
N.T.S.



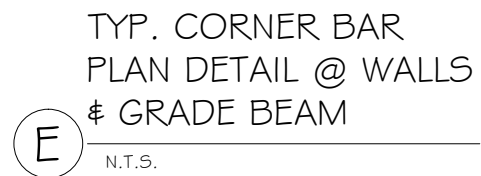
ANCHOR BOLT DETAIL WITH BRICK LEDGE  
(ONLY IF CODE REQUIRES ANCHOR BOLT)



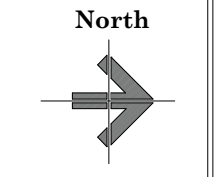
INTERSECTION DETAIL



CORNER DETAIL



**E** N.T.S.



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921 N. Alamo Rd.  
Rockwall, Texas 75087

Date  
July 1, 2024

Sheet Title

FOUNDATION

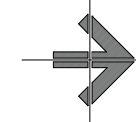
Scale  
3/16" = 1'-0"

Sheet No.

**S7**

7 of 7

North



THESE PLANS ARE INTENDED TO PROVIDE BASIC CONSTRUCTION/DESIGN INFORMATION NECESSARY TO COMPLETE THIS STRUCTURE. ALL PORTIONS OF THE WORK, INCLUDING PLUMBING, MECHANICAL AND ELECTRICAL SHALL BE PERFORMED IN FULL COMPLIANCE WITH ALL APPLICABLE CITY, COUNTY, STATE AND NATIONAL CODES. BUILDER RESERVES THE RIGHT TO MODIFY THESE PLANS AS REQUIRED. LOCAL CODES, ORDINANCES, AND RESTRICTIONS WILL APPLY SHOULD A DISCREPANCY OCCUR BETWEEN THE PLANS AND LOCAL REQUIREMENTS.

921 N. Alamo Rd.  
Rockwall, Texas 75087

Date  
July 1, 2024

Sheet Title

ROOF PLAN

Scale  
1/8" = 1'-0"

Sheet No.

S1

1 of 7

### RAFTER SPAN CHART (SLATE OR TILE ROOF)

REFERENCE=INTERNATIONAL RESIDENCIAL CODE 2021

RAFTERS: CEILING NOT ATTACHED TO RAFTERS,  
DL = 20 PSF, LL = 20 PSF, Δ = 1/180

RAFTERS: CEILING ATTACHED TO RAFTERS,  
DL = 20 PSF, LL = 20 PSF, Δ = 1/240

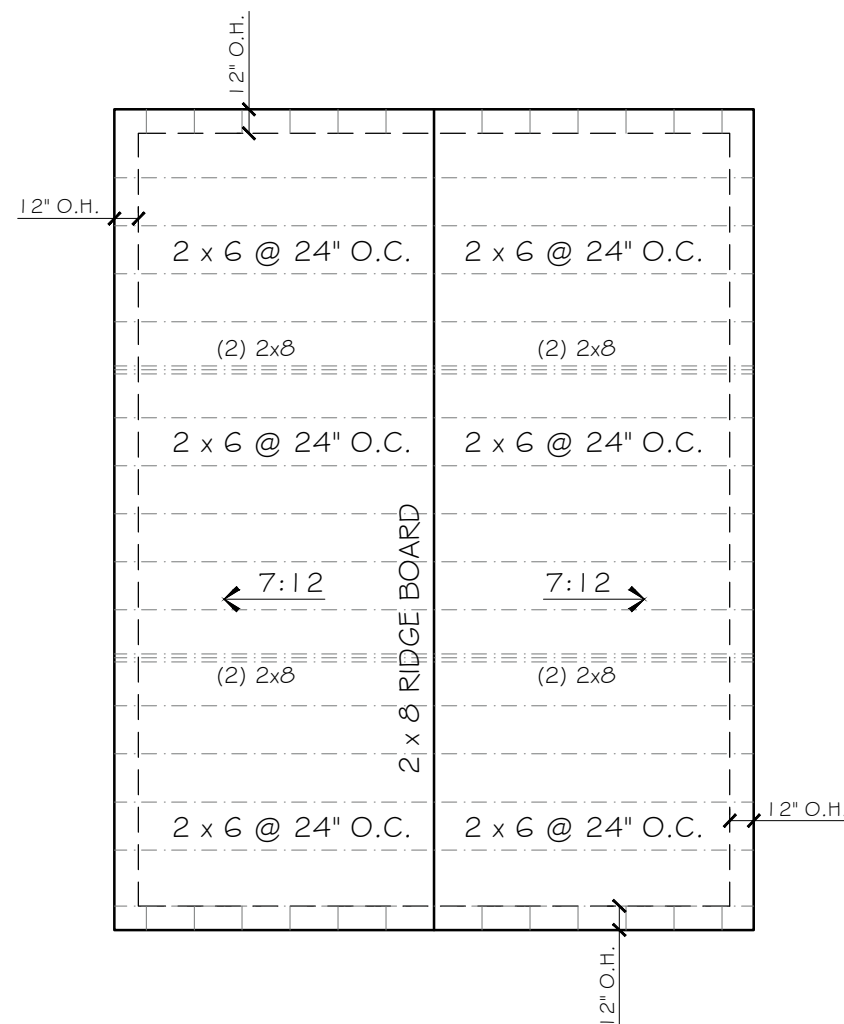
### SPAN CHART FOR #2 SOUTHERN PINE

	RAFTERS, CEILING NOT ATTACHED TO RAFTERS				RAFTERS, CEILING ATTACHED TO RAFTERS			
	12"	16"	19.2"	24"	12"	16"	19.2"	24"
2 X 4	9'-0"	7'-9"	7'-1"	6'-4"	9'-0"	7'-9"	7'-1"	6'-4"
2 X 6	13'-6"	11'-8"	10'-8"	9'-6"	13'-6"	11'-8"	10'-8"	9'-6"
2 X 8	17'-1"	14'-9"	13'-6"	12'-1"	17'-1"	14'-9"	13'-6"	12'-1"
2 X 10	20'-3"	17'-6"	16'-0"	14'-4"	20'-3"	17'-6"	16'-0"	14'-4"
2 X 12	23'-10"	20'-8"	18'-10"	16'-10"	23'-10"	20'-8"	18'-10"	16'-10"

ROOF BRACING SCHEDULE			
TYPICAL ROOF BRACING	HT	REQUIREMENTS	SECTION
	1-8FT.	2X4 "T" BRACING	2X4
	9-16FT.	2X6/2X6 "T" BRACING	2X6
	17-25FT.	2X8/2X8 "T" BRACING	2X8

### NOTES, ROOF BRACING

1. RAFTERS, RIDGES, HIPPS AND VALLEYS SHALL BE #2 SOUTHERN PINE OR EQUAL.
2. RIDGE, HIP, VALLEYS, AND PURLIN LOADS SHALL BE DISTRIBUTED TO WALLS OR BEAMS BELOW BY "T" BRACES OF (2) 2X6'S. THE "T" BRACES SHALL BE INSTALLED AT AN ANGLE GREATER THAN 45 DEGREES WITH THE HORIZONTAL. BRACE PURLINS AT 4'-0" O.C.
3. RAFTER SPANS EXCEEDING 11'-8" WITH THE HORIZONTAL SHALL BE BRACED WITH A 2X6 PURLIN.
4. USE 2X6 RAFTERS @ 24" O.C. UNLESS NOTED OTHERWISE. ALTERNATELY, USE THE SPAN CHARTS PROVIDED.
5. NAIL RAFTERS TO RIDGE, VALLEYS, AND HIP USING 4=16GD COMMON TOE NAILED OR 3=16GD COMMON FACE NAILED MINIMUM.
6. TOE NAIL ALL CEILING JOISTS TO TOP PLATE USING 3 10D COMMON. NO MORE THAN 2 NAILS SHALL BE INSTALLED ON EACH SIDE OF A JOIST WITH 2X4 TOP PLATE AND NO MORE THAN 3 NAILS INSTALLED ON EACH OF JOIST WITH A 2X6 TOP PLATE.
7. ALL SPLICED RAFTERS SHALL BE SPLICED AND BRACED AT PURLIN LOCATION.

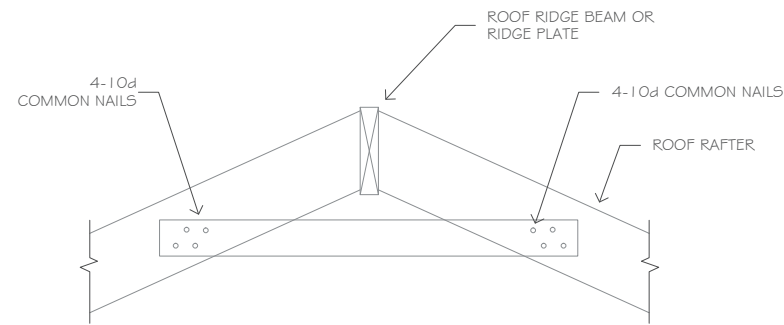
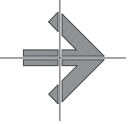


### ROOF PLAN

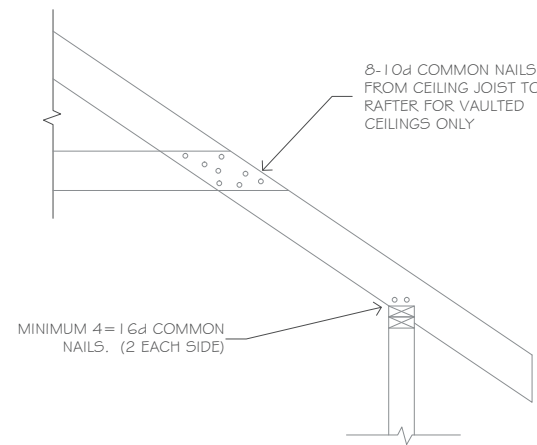
SCALE: 1/8" = 1'-0"



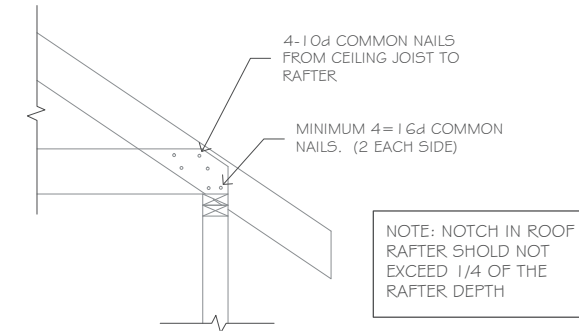
North



**A** TYPICAL COLLAR TIE CONNECTION DETAIL  
N.T.S.

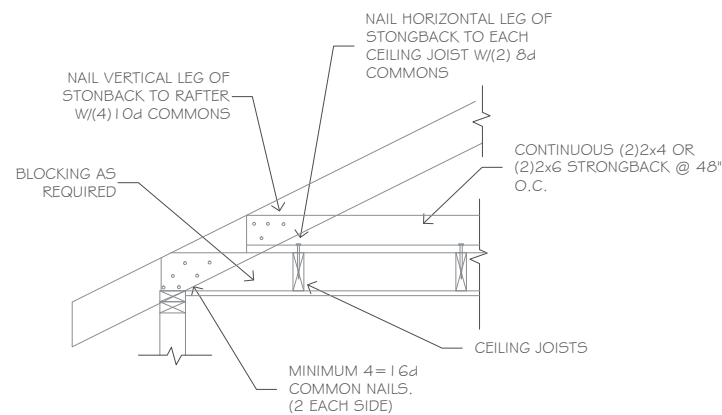


**B** TYPICAL DETAIL @ VAULTED CEILING  
N.T.S.

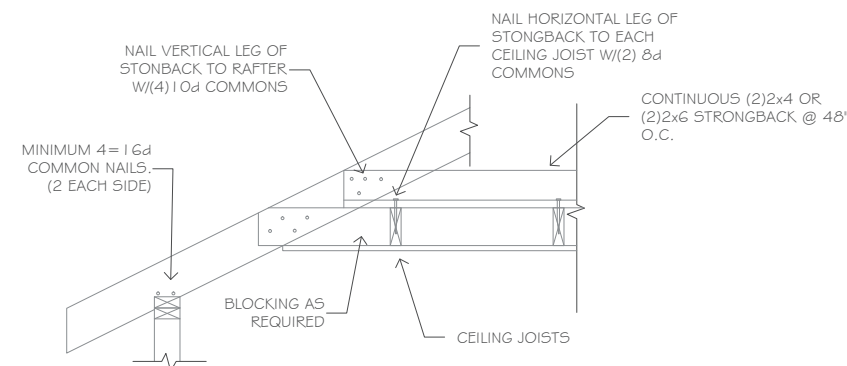


**C** TYPICAL ROOF RAFTER ATTACHMENT TO TOP PLATE  
N.T.S.

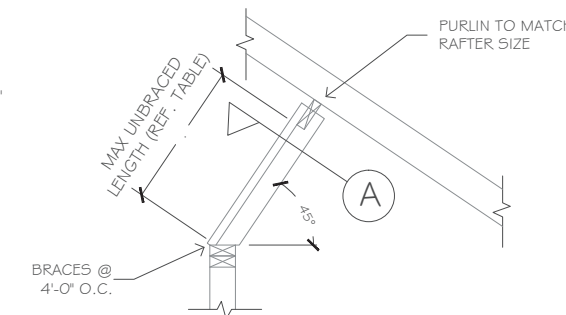
T-BRACE		
UNBRACED LENGTH	FLANGE SIZE	WEB SIZE
UP TO 6'-0"	---	2x4
UP TO 10'-0"	2x4	2x4
UP TO 16'-0"	2x4	2x6
UP TO 20'-0"	2x6	2x6
UP TO 26'-0"	2x6	(2)2x6



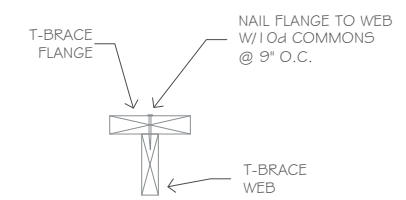
**D** CEILING JOIST PERPENDICULAR TO ROOF RAFTER  
N.T.S.



**E** VAULTED CLG. w/ CLG. JOIST PERPENDICULAR TO RAFTERS  
N.T.S.



**F** TYP. "T" BRACE ROOF PURLIN SUPPORT DET.  
N.T.S.



SECTION A-A

THESE PLANS ARE INTENDED TO PROVIDE BASIC CONSTRUCTION/DESIGN INFORMATION NECESSARY TO COMPLETE THIS STRUCTURE. ALL PORTIONS OF THE WORK, INCLUDING PLUMBING, MECHANICAL AND ELECTRICAL SHALL BE PERFORMED IN FULL COMPLIANCE WITH ALL APPLICABLE CITY, COUNTY, STATE AND NATIONAL CODES. BUILDER RESERVES THE RIGHT TO MODIFY THESE PLANS AS REQUIRED. LOCAL CODES, ORDINANCES, AND RESTRICTIONS WILL APPLY SHOULD A DISCREPANCY OCCUR BETWEEN THE PLANS AND LOCAL REQUIREMENTS.

921 N. Alamo Rd.  
Rockwall, Texas 75087

Date  
July 1, 2024

Sheet Title

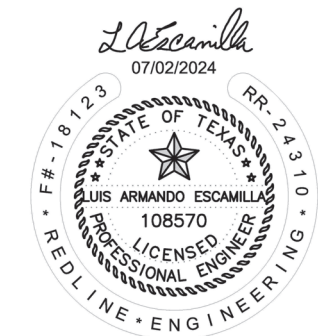
DETAILS

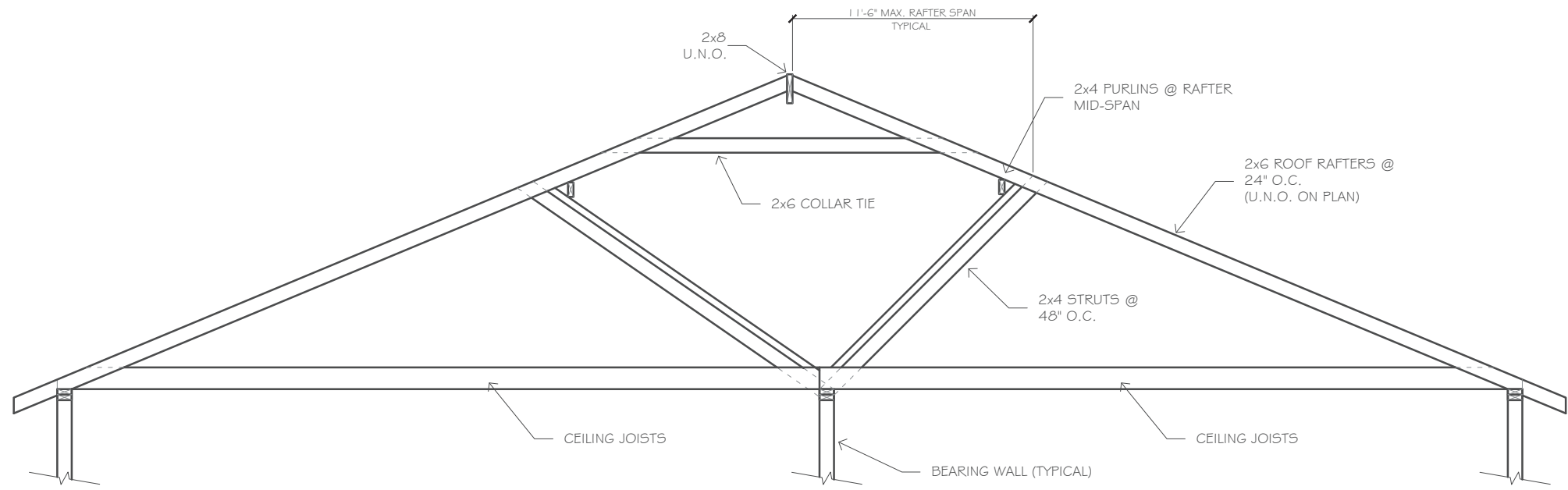
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1/8" = 1'-0"

Sheet No.

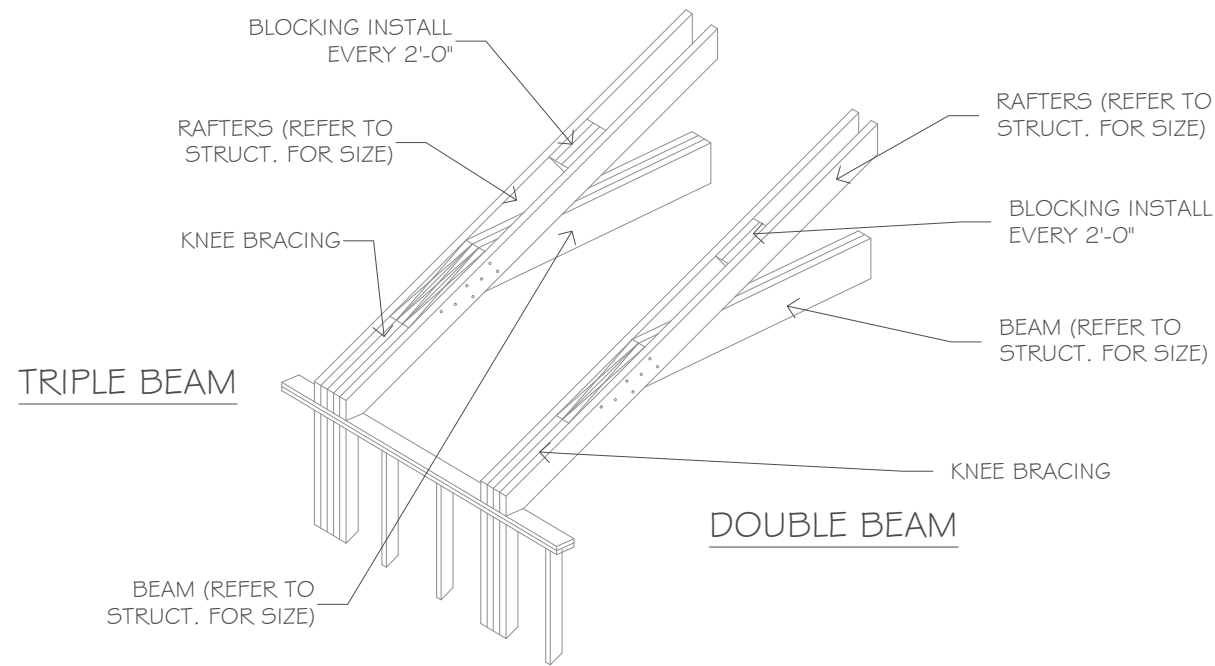
S2

2 of 7

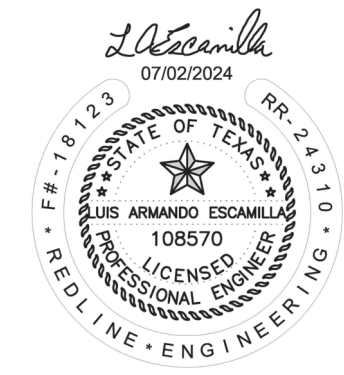
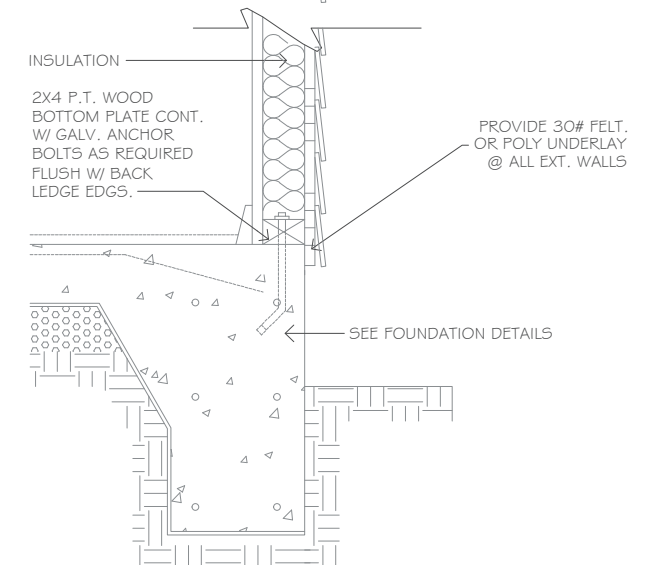
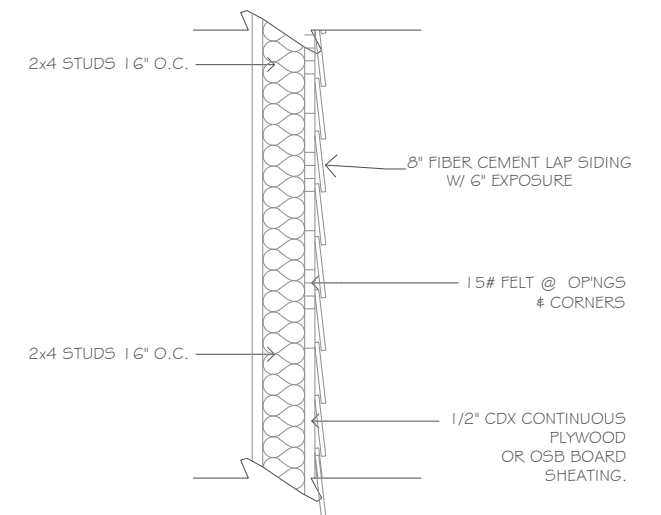
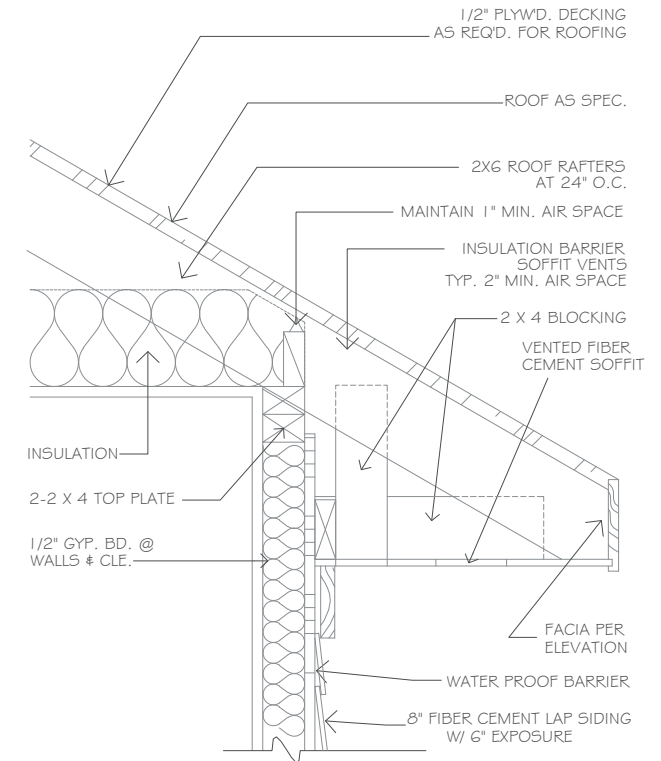




**A** TYP. RAFTER DETAIL  
N.T.S.



**D** TYP. BEAM SUPPORTED BY RAFTERS  
N.T.S.



WALL SECTION  
SCALE: n.t.s.

North



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921 N. Alamo Rd.  
Rockwall, Texas 75087

Date  
July 1, 2024

Sheet Title

DETAILS

Scale  
1/8" = 1'-0"

Sheet No.

S3

3 of 7

REF. INTERNATIONAL RESIDENTIAL CODE 2021

CEILING JOISTS: UNINHABITABLE ATTICS WITH LIMITED STORAGE,  
 DL = 5psf LL = 10psf,  $\Delta = 1/240$   
 DL = 10psf LL = 20psf,  $\Delta = 1/240$

SPAN CHART FOR #2 SOUTHERN PINE

	CEILING JOISTS DEAD LOAD = 5 LIVE LOAD = 10				CEILING JOISTS DEAD LOAD = 10 LIVE LOAD = 20			
	12"	16"	19.2"	24"	12"	16"	19.2"	24"
2 X 4	11'-10"	10'-9"	10'-2"	9'-3"	9'-3"	8'-0"	7'-4"	6'-7"
2 X 6	18'-8"	16'-11"	15'-7"	13'-11"	13'-11"	12'-0"	11'-0"	9'-10"
2 X 8	24'-7"	21'-7"	19'-8"	17'-7"	17'-7"	15'-3"	13'-11"	12'-6"
2 X 10	26'-0"	25'-7"	23'-5"	20'-11"	20'-11"	18'-1"	16'-6"	14'-9"
2 X 12	26'-0"	25'-4"	23'-0"	23'-0"	23'-0"	20'-3"	18'-8"	16'-10"

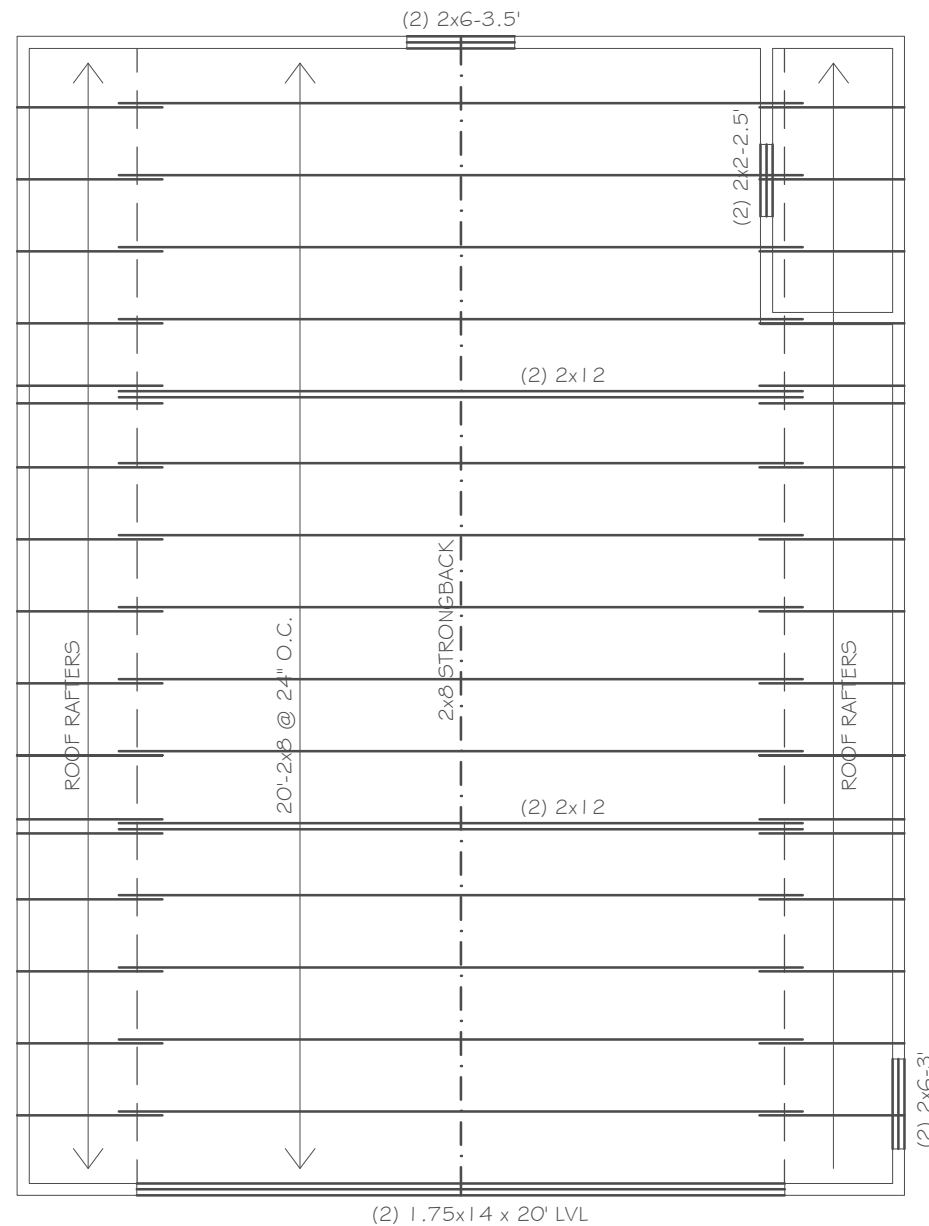
HEADER SPAN ALLOWANCE  
(MAXIMUM)

(PLY) SIZE	LOAD BEARING	NON-LOAD BEARING
(2) 2X6's	-	4 FT
(2) 2X8's	4 FT	6 FT
(2) 2X10's	6 FT	8 FT
(2) 2X12's	8 FT	10 FT

LOAD BEARING HEADERS GREATER THAN 8'-0" NEED TO BE SIZED

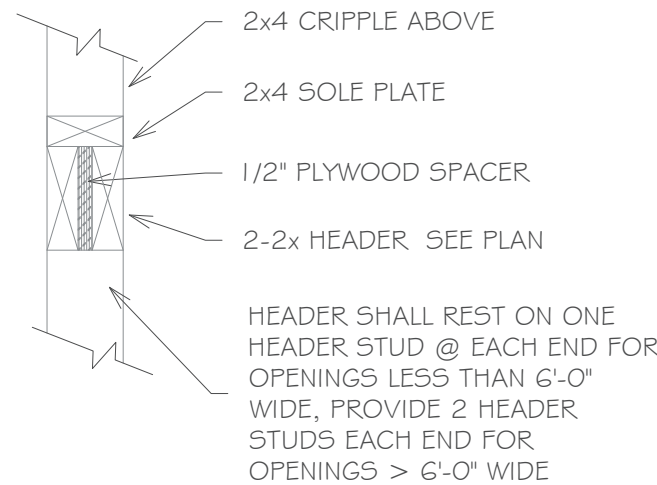
NOTES

1. ALL CEILING JOISTS TO BE #2 SOUTHERN PINE.
2. ALL CEILING JOISTS MUST BE NAILED TO TOP PLATE W/3=8D COMMON NAILS.
3. ALL CEILING JOISTS MUST BE NAILED TO RAFTER W/9=16D COMMON NAILS.
4. JOISTS AND BEAM HANGERS, WHERE SPECIFIED, SHALL BE FULLY NAILED PER MANUFACTURER'S CATALOG SPECIFICATIONS.
5. DECKING FOR UNINHABITABLE ATTICS WITH LIMITED STORAGE SHALL BE MINIMUM 7/16" PLYWOOD OR OSB, WITH A SPAN RATING THAT MEETS OR EXCEEDS THE CEILING JOIST SPACING.
6. MULTIPLE-PLY BEAMS, WHERE SPECIFIED, SHALL HAVE EACH PLY NAILED TOGETHER WITH 2 ROWS OF 16D COMMONS @ 12" O.C. (3 ROWS OF NAILS REQUIRED FOR BEAMS EXCEEDING 12" MIN. DEPTH)
7. ALL MULTIPLE-PLY BEAM CALLOUTS ON PLANS SHALL BE #2 SOUTHERN PINE UNLESS NOTED OTHERWISE.



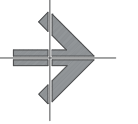
FRAMING PLAN

SCALE: 3/16" = 1'-0"



A TYP. HEADER DETAIL  
N.T.S.

North



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Rockwall, Texas 75087

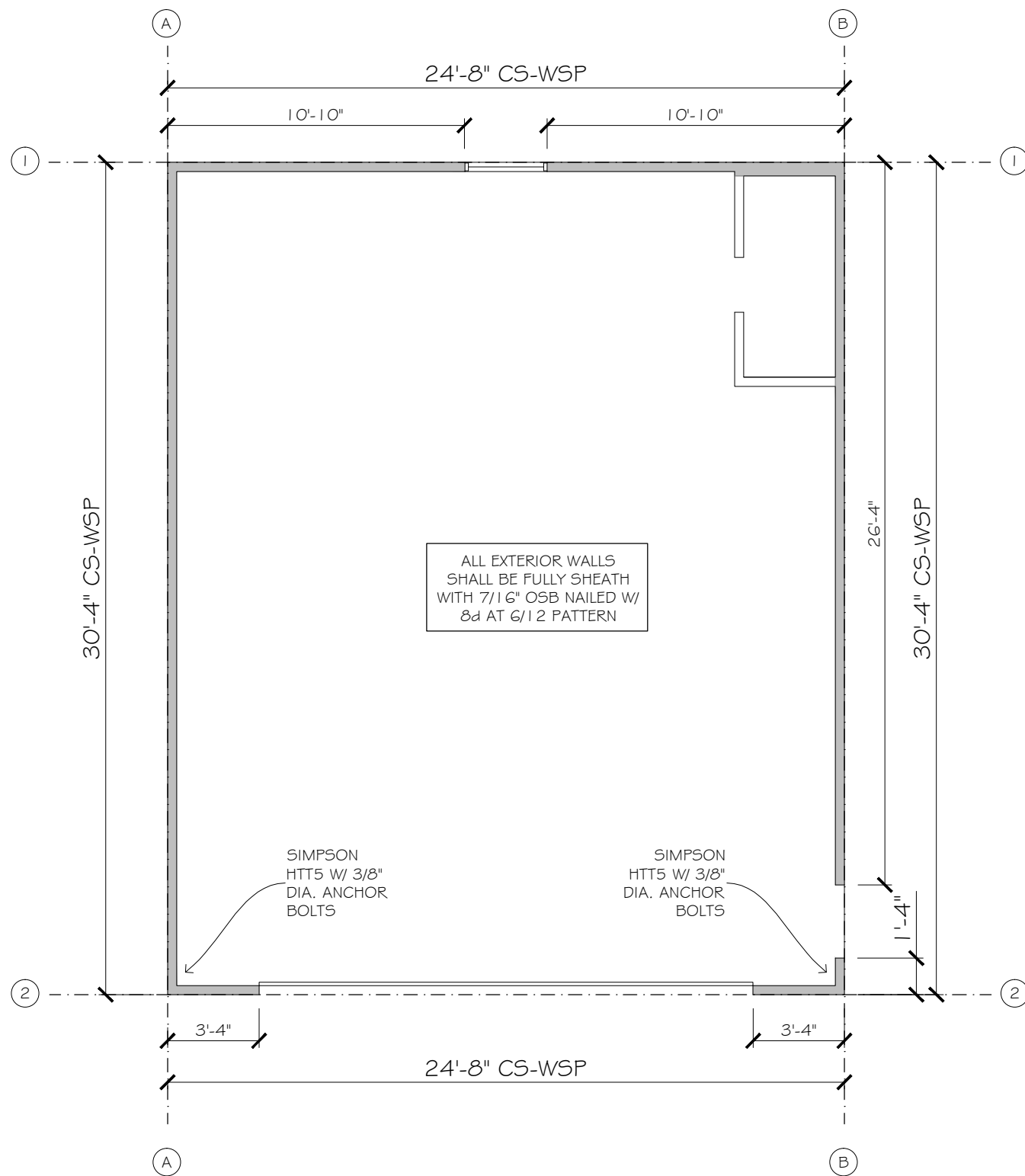
Date  
July 1, 2024

Sheet Title  
CEILING FRAMING

Scale  
1/8" = 1'-0"

Sheet No.

S4



**WIND BRACING PLAN**  
SCALE: 3/16" = 1'-0"

**WALL BRACING NOTES**

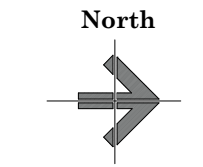
1. ALL WALL BRACING TO COMPLY WITH 2018 IRC OR NEWER BUILDING CODE CURRENTLY ADOPTED BY CITY OF LANCASTER.
2. NAIL "RED" THERMAPLY WITH 1 1/4" GALVANIZED ROOFING NAILS OR 16 GA. 7/16" MIN. CROWN STAPLES SPACED 3" O.C. ON ALL PANEL EDGES AND 6" O.C. IN THE FIELD.

**ALTERNATE TIE DOWN ANCHORS**  
(USE THESE ANCHORS AFTER THE SLAB IS CURED)

1. LOCATE HTT5 SIMPSON TIES AT CORNERS OF THE "A" WALL BRACING PANELS AS NOTED ON WALL BRACING PLANS.
2. DRILL INTO SLAB WITH 3/4" DIA. DRILL BIT. HOLES SHOULD BE DRILLED 4" DEEP MIN.
3. HOLES SHOULD BE CLEANED WITH COMPRESSED AIR AND BRUSH IN EACH HOLE. ALL CONCRETE DUST MUST BE REMOVED FROM HOLES
4. IN EACH HOLE, INJECT SIMPSON ACRYLIC-TIE ADHESIVE PER MANUFACTURER'S REQUIREMENTS.
5. INSTALL 5/8" X 12" THREADED ROD INTO EACH HOLE (SIMPSON RB#5X12). DO NOT DISTURB THREADED ROD FOR AT LEAST TWO HOURS TO ALLOW GLUE TO CURE.
6. AFTER WAITING FOR GLUE TO CURE, INSTALL SIMPSON HTT5 TIES AND NAIL TO STUDS WITH 32, 16D NAILS.

**CS-WSP**

DENOTES METHOD CS-WSP (CONTINUOUS WOOD STRUCTURAL PANEL SHEATHING). 4X8 WOOD STRUCTURAL PANEL SHEATHING WITH A THICKNESS NOT LESS THAN 3/8 INCH OSB FOR 16-INCH STUD SPACING. NAILING: 6d COMMON @ 6" O.C. ALL EDGES @ 12" O.C. IN FIELD.  
FASTEN SHEATHING TO HEADER WITH 8d COMMON NAILS IN 3" GRID PATTERN AND 3" O.C. IN ALL FRAMING (STUDS AND SILLS) TYP.



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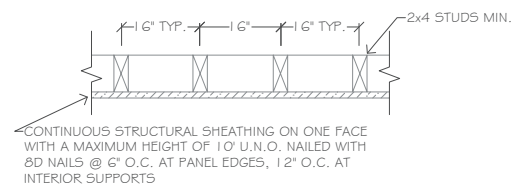
921 N. Alamo Rd.  
Rockwall, Texas 75087

Date  
July 1, 2024

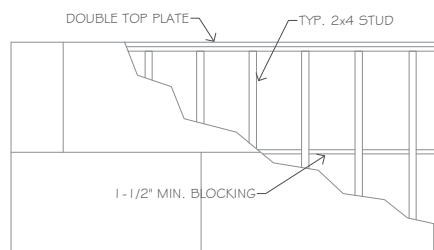
Sheet Title  
WIND BRACING

Scale  
3/16" = 1'-0"

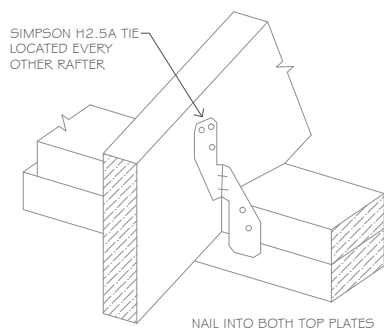
Sheet No.  
**S5**



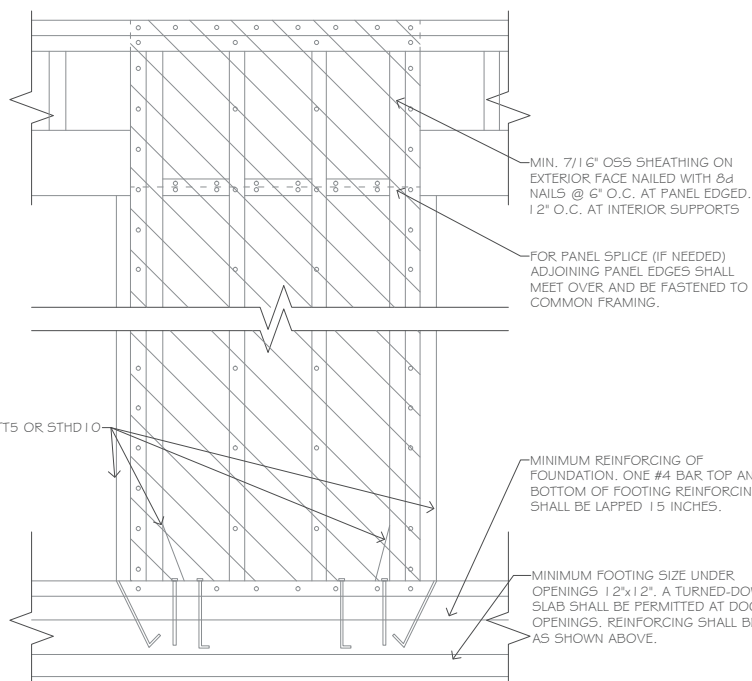
1 SECTION DETAIL  
N.T.S.



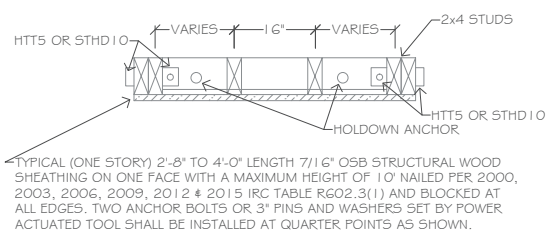
PANEL BLOCKING DETAIL  
N.T.S.



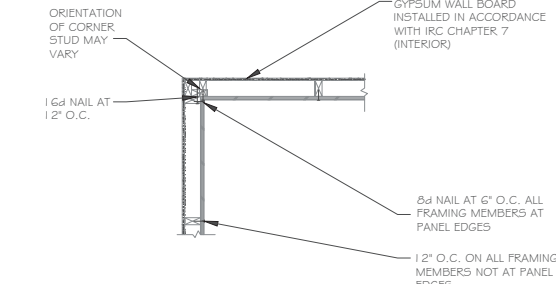
RAFTER TO TOP PLATE DETAIL  
N.T.S.



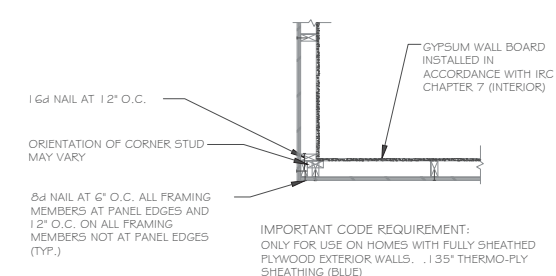
2 SECTION DETAIL (EXTERIOR ELEVATION)  
N.T.S.



2 SECTION DETAIL (PLAN VIEW)  
N.T.S.



EXAMPLE OF INSIDE CORNER DETAIL  
N.T.S.



EXAMPLE OF OUTSIDE CORNER DETAIL  
N.T.S.

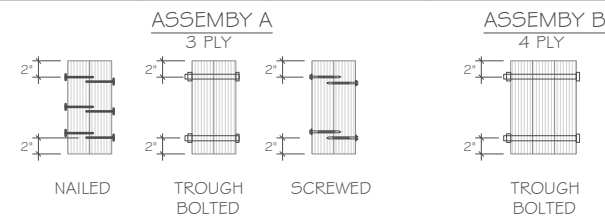
GENERAL NOTES

- REFERENCE ARCHITECTURAL DRAWINGS FOR STUD SIZES AND DIMENSIONS.
- ALL RAFTERS, LEDGERS, STUDS, HEADERS AND SHEATHING SHALL BE NAILED IN ACCORDANCE WITH THE 2021 IRC TABLE R602.3(1), UNLESS OTHERWISE NOTED.
- SEAWALL SEGMENTS SHALL BE CONTINUOUS FROM THE MUDSLIDE THROUGH THE DOUBLE TOP PLATE.
- BRACE WALLS LESS THAN 2' IN WIDTH DO NOT REQUIRE BOLTS & WASHERS BETWEEN THE 2 INSTALLED HOLD DOWN STRAPS (HTTS/STHD 10). PROVIDE 1 ANCHOR BOLT C/L OR 2-3" PINS AND WASHERS (SET @ 1/3 POINTS BY A POWDER ACTUATED TOOL) FOR BRACED WALLS FROM 2' TO 2'-8" OVERALL LENGTH.
- MUDSLIDE AT ALL EXTERIOR WALLS SHALL BE ANCHORED TO THE FOUNDATION SLAB WITH 1/2" ANCHOR BOLTS EMBEDDED 7" INTO THE SLAB AND SPACED 6'-0" O.C. MAX. OR SIMPSON STRONG-TIE MASA MUDSLIDE ANCHORS @ 6'-0" O.C.
- WHERE RAFTERS MEET THE TOP PLATE OF EXTERIOR WALLS, INSTALL SIMPSON STRONG-TIE H2.5 ANCHORS AT EVERY OTHER RAFTER. ANCHORS WITH 445 LB. CAPACITY OR GREATER MAY BE USED AS AN ALTERNATE.
- ALL INTERIOR WALLS TO BE 1/2" SHEETROCK NAILED PER TABLE R602.3(1) OF THE 2000, 2003, 2006, 2009, 2012 & 2015 IRC.
- LET-IN BRACING MAY BE SUBSTITUTED WITH 4x8 STRUCTURAL SHEATHING (RED T-PLY OR OSB) FROM TOP TO BOTTOM PLATE OR C516 X-BRACING.
- ALL INTERIOR BRACED WALLS MUST BE ANCHORED TO THE FOUNDATION USING SIMPSON TITEN HD 1/2" ANCHOR BOLTS OR APPROVED EQUAL.
  - INSTALL TITEN HD ANCHOR BOLTS AT MAXIMUM SIX FEET ON CENTER, WITH MINIMUM 2-3/4" EMBEDMENT INTO FOUNDATION.
  - MINIMUM TWO BOLTS PER BRACED WALL SECTION, WITH ONE BOLT LOCATED NOT MORE THAN 12" OR LESS THAN SEVEN BOLT DIAMETERS FROM EACH END OF BRACED WALL SECTION.

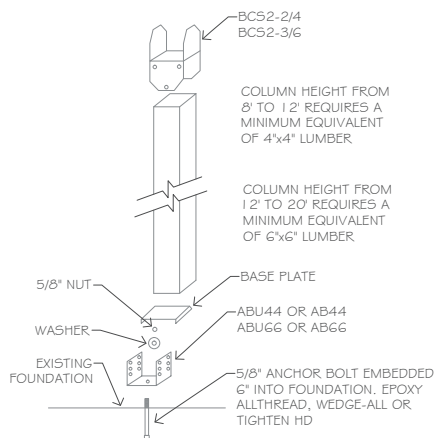
NOTE: SIMPSON STHD 10 OR HTTS CAN BE ROTATED 90°

NOTE: ALL SIMPSON PRODUCTS MAY BE SUBSTITUTED WITH APPROVED EQUAL

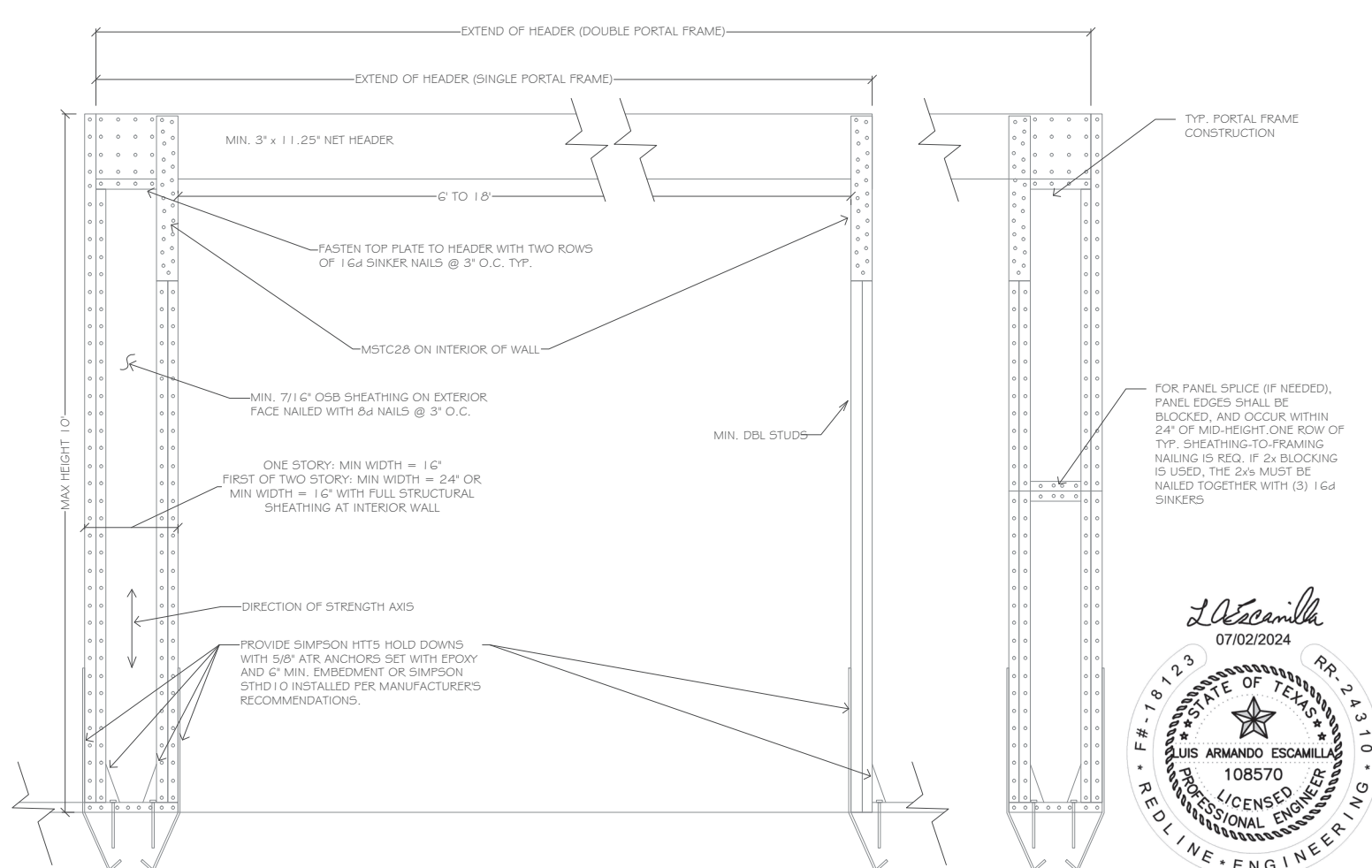
SIDE-LOADED MULTIPLE MEMBER CONNECTION SCHEDULE			
ASSEMBY TYPE	NAILED CONN.	THROUGH-BOLTED CONN.	STRUCTURAL WOOD SCREW CONN.
ASSEMBLY A	3 ROWS 12d COMMON WIRE NAILS AT 12" O.C.	2 ROWS 1/2" DIA. BOLTS W/ WASHERS AT 12" O.C.	2 ROWS 1/4" DIA. x 3 1/2" LONG SCREWS AT 12" O.C.
ASSEMBLY B	NOT APPLICABLE	2 ROWS 1/2" DIA. BOLTS W/ WASHERS AT 12" O.C.	NOT APPLICABLE



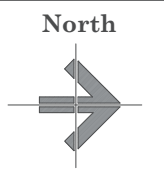
LVL BEAM ASSEMBLY  
N.T.S.



STANDARD COLUMN DETAIL  
N.T.S.



2 PORTAL FRAME (SINGLE AND DOUBLE)  
N.T.S.



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921 N. Alamo Rd.  
Rockwall, Texas 75087

Date  
July 1, 2024

Sheet Title

WIND BRACING

Scale  
N.T.S.

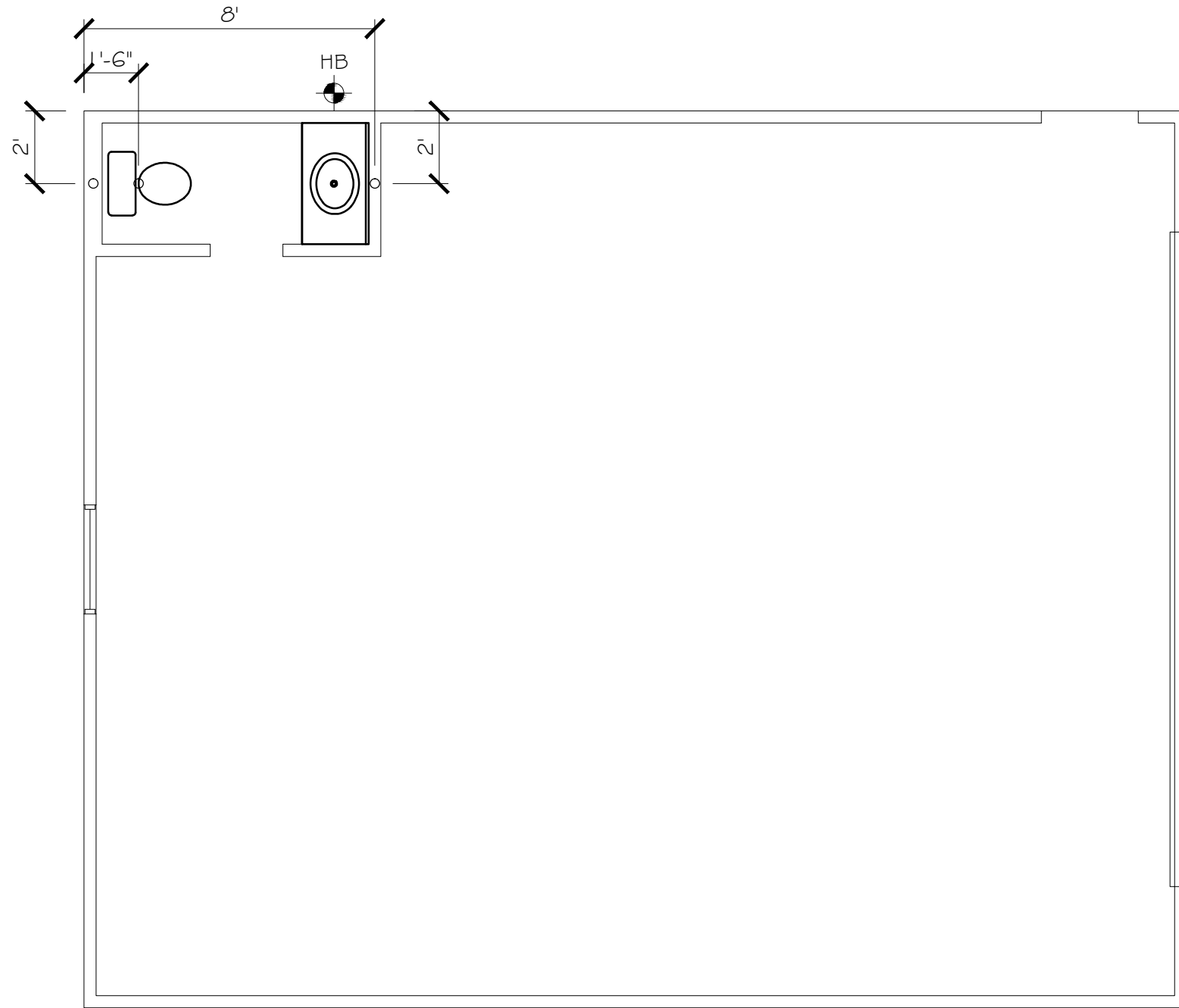
Sheet No.

S6

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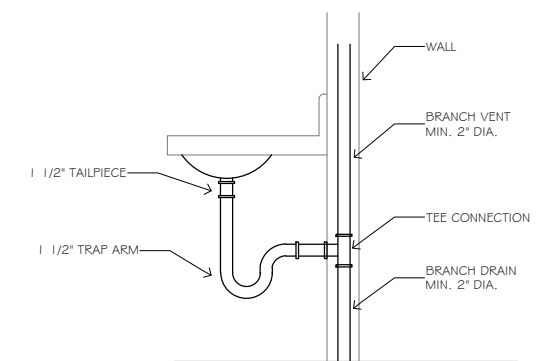




**PLUMBING PLAN**  
SCALE: 1/4" = 1'-0"

**PLUMBING NOTES**

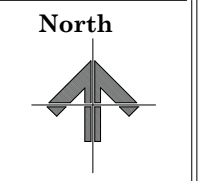
- A. CONTRACTOR TO VISIT SITE AND BECOME FAMILIAR WITH ALL EXISTING CONDITIONS, TO DETERMINE THE EXTENT OF DEMOLITION REQUIRED TO FACILITATE NEW CONSTRUCTION AND INCLUDE ALL SUCH WORK IN HIS/HER BID.
- B. ALL ITEMS TO BE DEMOLISHED NOT SCHEDULED FOR REUSE SHALL BE TURNED OVER TO OWNER FOR SALVAGE AT HIS/ HER DECISION. ANY ITEMS NOT RETAINED BY OWNER SHALL BE DISPOSED OF AT CONTRACTOR'S EXPENSE.
- C. COORDINATE ALL DEMOLITION WITH ARCHITECT AND BUILDING MANAGEMENT.
- D. REFER TO ARCHITECTURAL DRAWINGS FOR ADDITIONAL DEMOLITION NOTES.
- E. REFER TO ARCHITECTURAL DRAWING FOR PLUMBING FIXTURE TYPES AND SPECIFICATIONS. PROVIDE ALL STOP VALVES SHUT-OFF VALVES, P-TRAPS, TAIL PIECES, TRAP PRIMERS, PISTON-TYPE WATER HAMMER ARRESTORS, ETC. AS REQUIRED FOR COMPLETE INSTALLATION. INSULATE ALL EXPOSED WASTE AND WATER LINES WITH 'PLUMBEREX PRO SERIES 2000' INSULATION KIT.
- F. CORE-DRILL ALL HOLES ON SLAB AS REQUIRED FOR NEW PIPING. VERIFY ALLOWABLE CORE SIZE(S) AND EXACT LOCATION OF STRUCTURE BELOW FLOOR WITH STRUCTURAL ENGINEER BEFORE CORING FLOOR. DO NOT CUT ANY STRUCTURAL SUPPORTS. FLOOR MUST BE SEALED TO A WATER TIGHT CONDITION. IF THE EXISTING FLOOR SLAB IS A POST-TENSION TYPE SLAB, THE FLOOR SHALL BE X-RAYED PRIOR TO CORING ANY HOLES THROUGH FLOOR. DO NOT CUT ANY POST-TENSION CABLES WHEN CORING HOLES THROUGH FLOOR.



**FIXTURE CONNECTION**

MARK	FIXTURE	WASTE	VENT	CW	HW
WC	WATER CLOSET	4"	2"	3/4"	—
HS	HAND SINK	2"	1 1/2"	3/4"	3/4"
WH	WATER HEATER	—	—	3/4"	3/4"

- NOTES:**
1. SIZES SHOWN ARE MINIMUM UNIFORM PLUMBING CODE REQUIREMENTS FOR TRAPS, TRAP ARM & ROUGH-IN CONNECTION.
  2. WASTE AND VENT PIPES SHALL BE 2" MIN.
  3. PEX TUBING TO BE USED TO COLD AND HOT WATER
  4. PEX BARS BRASS FITTINGS TO BE USED FOR POTABLE WATER.
  5. SEWER PVC TO BE USED FOR WASTE WATER



THESE PLANS ARE INTENDED TO PROVIDE BASIC CONSTRUCTION/DESIGN INFORMATION NECESSARY TO COMPLETE THIS STRUCTURE. ALL PORTIONS OF THE WORK, INCLUDING PLUMBING, MECHANICAL AND ELECTRICAL SHALL BE PERFORMED IN FULL COMPLIANCE WITH ALL APPLICABLE CITY, COUNTY, STATE AND NATIONAL CODES. BUILDER RESERVES THE RIGHT TO MODIFY THESE PLANS AS REQUIRED. LOCAL CODES, ORDINANCES, AND RESTRICTIONS WILL APPLY SHOULD A DISCREPANCY OCCUR BETWEEN THE PLANS AND LOCAL REQUIREMENTS.

**921 N. Alamo Rd.**  
**Rockwall, Texas 75087**

**GARNER BLOCK PART 4**

**Date**  
July 21, 2024

**Sheet Title**  
PLUMBING

**Scale**  
1/4" = 1'-0"

**Sheet No.**  
**7**  
6 of 14



CITY OF ROCKWALL

ORDINANCE NO. 24-XX

SPECIFIC USE PERMIT NO. S-3XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE (UDC) [ORDINANCE NO. 20-02] SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR *DETACHED GARAGE* ON A 0.530-ACRE TRACT OF LAND IDENTIFIED AS A PORTION OF BLOCK 4, GARNER ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AND MORE SPECIFICALLY DESCRIBED AND DEPICTED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

**WHEREAS**, the City has received a request by Travis Block for the approval of a Specific Use Permit (SUP) for a *Detached Garage* on a 0.53-acre tract of land identified as a portion of Block 4 of the Garner Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 10 (SF-10) District, addressed as 921 N. Alamo Road, and being more specifically described and depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

**WHEREAS**, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall should be amended as follows:

**NOW, THEREFORE, BE IT ORDAINED** by the City Council of the City of Rockwall, Texas;

**SECTION 1.** That the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) to allow for the construction of a *Detached Garage* in accordance with Article 04, *Permissible Uses*, the Unified Development Code (UDC) [Ordinance No. 20-02] on the *Subject Property*; and,

**SECTION 2.** That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Subsection 03.01, *General Residential District Standards*, and Subsection 03.07, *Single-Family 10 (SF-10) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [Ordinance No. 20-02] -- as heretofore amended and may be amended in the future -- and with the following conditions:

**2.1 OPERATIONAL CONDITIONS**

The following conditions pertain to the construction of a *Detached Garage* on the *Subject Property* and conformance to these operational conditions are required:

- (1) The development of the *Subject Property* shall generally conform to the *Site Plan and Survey* as depicted in *Exhibit 'B'* of the Specific Use Permit (SUP) ordinance.
- (2) The construction of a *Detached Garage* on the *Subject Property* shall generally conform to the *Building Elevations* depicted in *Exhibit 'C'* of the Specific Use Permit (SUP) ordinance.
- (3) The *Detached Garage* shall not exceed a maximum size of 750 SF.
- (4) The Detached Garage shall not be used as a *Guest Quarters* or *Secondary Living Quarters*.
- (5) The subject property shall be limited to a maximum of three (3) accessory structures.
- (6) The maximum height of the *Detached Garage* shall not exceed a total height of 19-feet as measured to highest point of the pitched roof.
- (7) The *Detached Garage/Accessory Structure* may not be sold or conveyed separately.

## 2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)* of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

- 1) Upon obtaining a *Building Permit*, should the contractor operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*].

**SECTION 3.** That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

**SECTION 4.** That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

**SECTION 5.** Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

**SECTION 6.** If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full

force and effect.

**SECTION 7.** That this ordinance shall take effect immediately from and after its passage.

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,  
THIS THE 7<sup>TH</sup> DAY OF OCTOBER, 2024.**

\_\_\_\_\_  
Trace Johannessen, Mayor

**ATTEST:**

\_\_\_\_\_  
Kristy Teague, *City Secretary*

**APPROVED AS TO FORM:**

\_\_\_\_\_  
Frank J. Garza, *City Attorney*

1<sup>st</sup> Reading: September 16, 2024

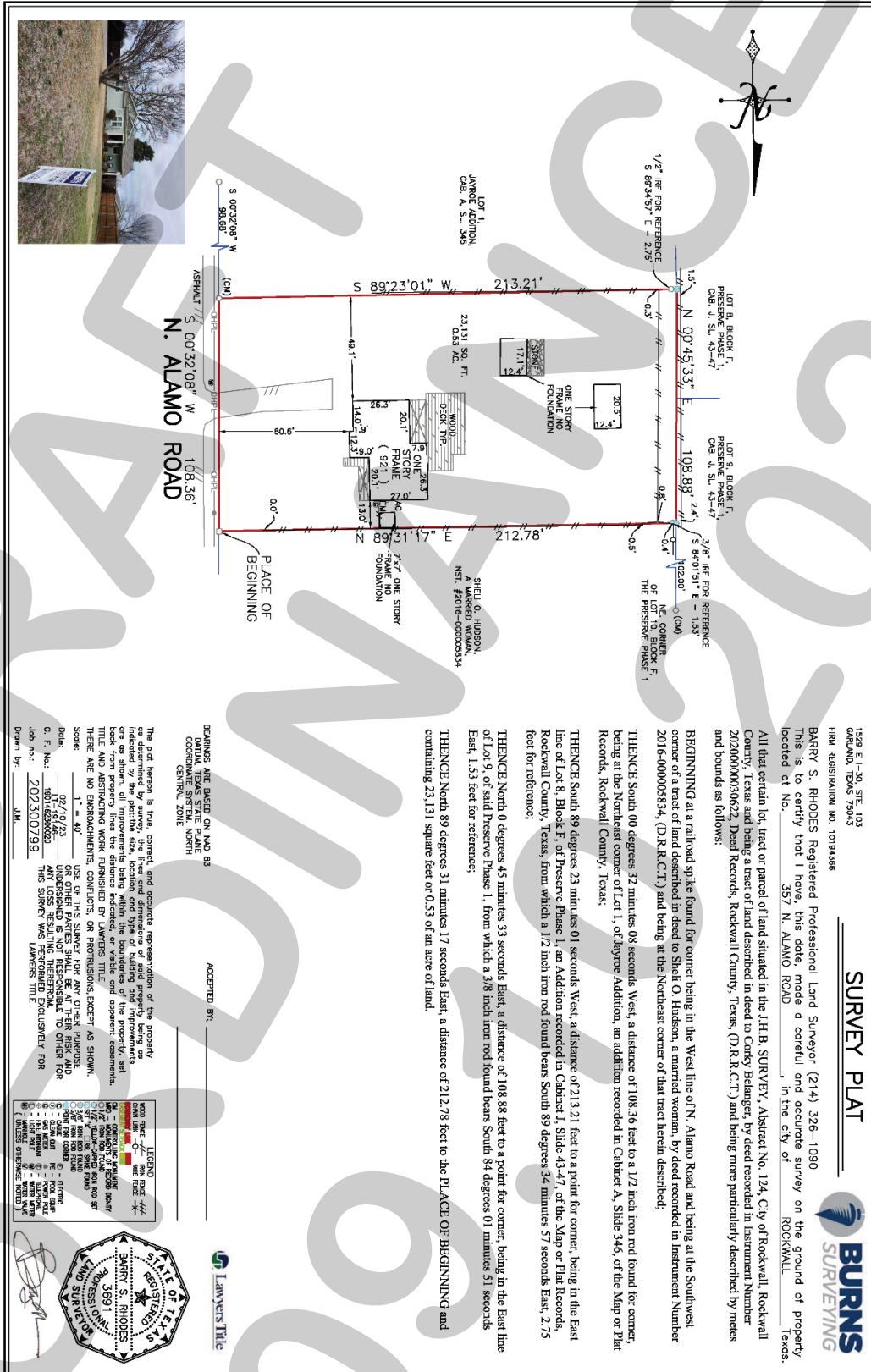
2<sup>nd</sup> Reading: October 7, 2024

# Exhibit 'A'

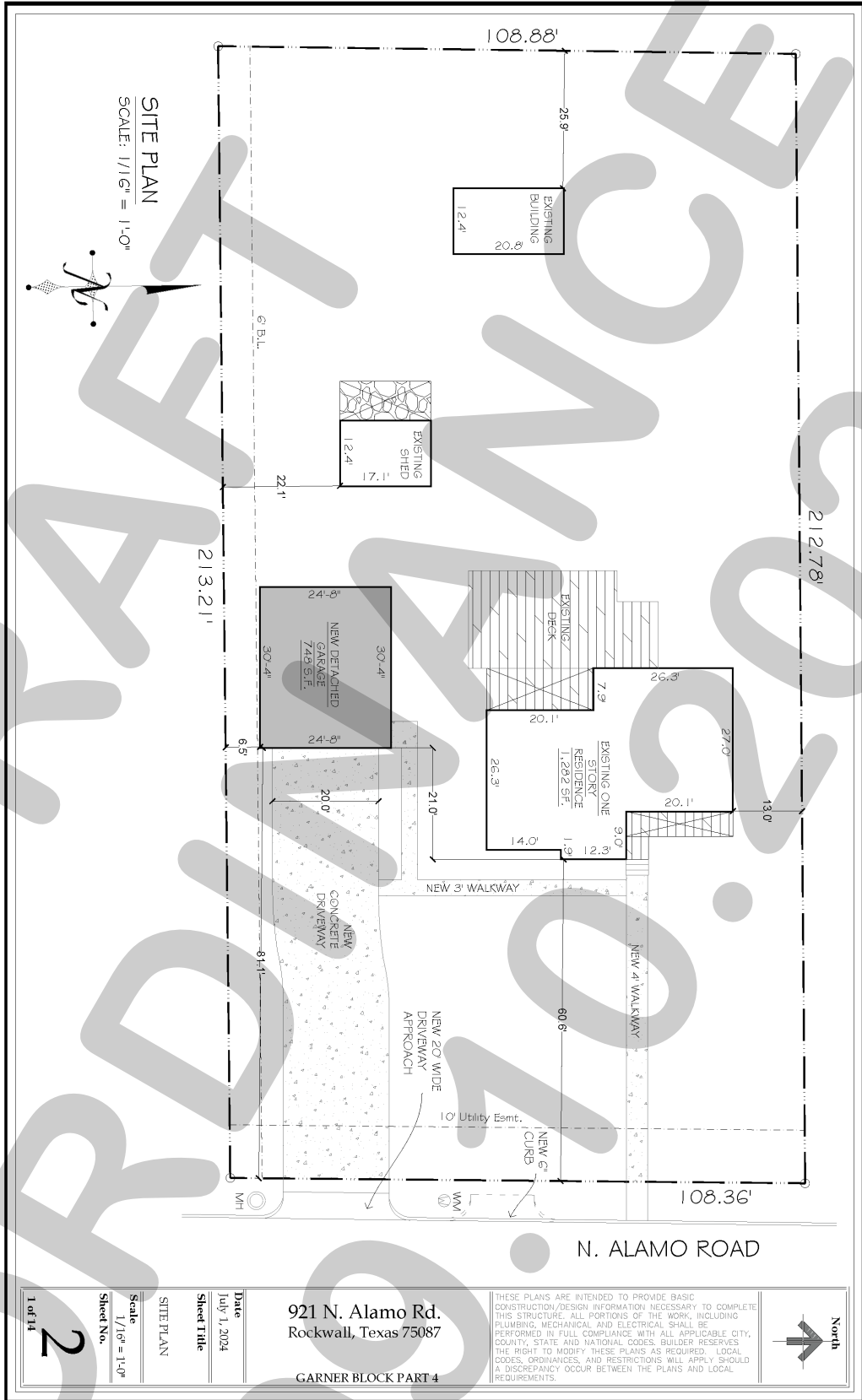
## Survey and Legal Description

Address: 921 N Alamo Road

Legal Description: A portion of Block 4 of the Gardener Addition



**Exhibit 'B':  
Residential Plot Plan**



1 of 14	<b>2</b>
Sheet No.	
Scale	1/16" = 1'-0"
SITE PLAN	
Sheet Title	
Date	July 1, 2024

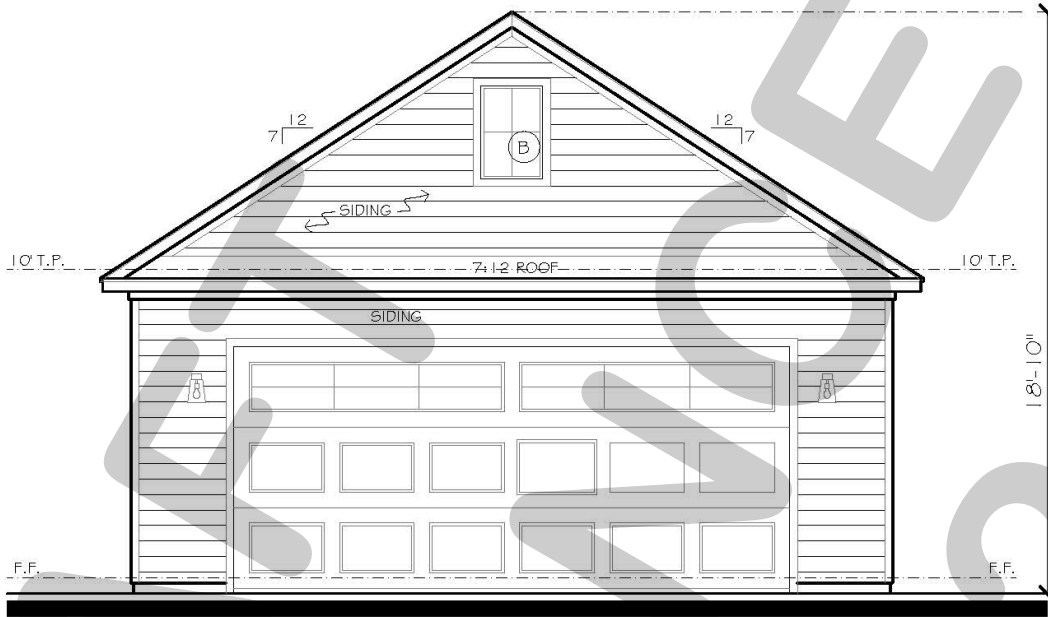
**921 N. Alamo Rd.**  
 Rockwall, Texas 75087

**GARNER BLOCK PART 4**

THESE PLANS ARE INTENDED TO PROVIDE BASIC CONSTRUCTION/DESIGN INFORMATION NECESSARY TO COMPLETE THIS STRUCTURE. ALL PORTIONS OF THE WORK, INCLUDING PLUMBING, MECHANICAL AND ELECTRICAL SHALL BE PERFORMED IN FULL COMPLIANCE WITH ALL APPLICABLE CITY, COUNTY, STATE AND NATIONAL CODES. BUILDER RESERVES THE RIGHT TO MODIFY THESE PLANS AS REQUIRED. LOCAL CODES, ORDINANCES, AND RESTRICTIONS WILL APPLY SHOULD A DISCREPANCY OCCUR BETWEEN THE PLANS AND LOCAL REQUIREMENTS.



Exhibit 'C':  
Building Elevations



FRONT ELEVATION

SCALE: 3/16" = 1'-0"

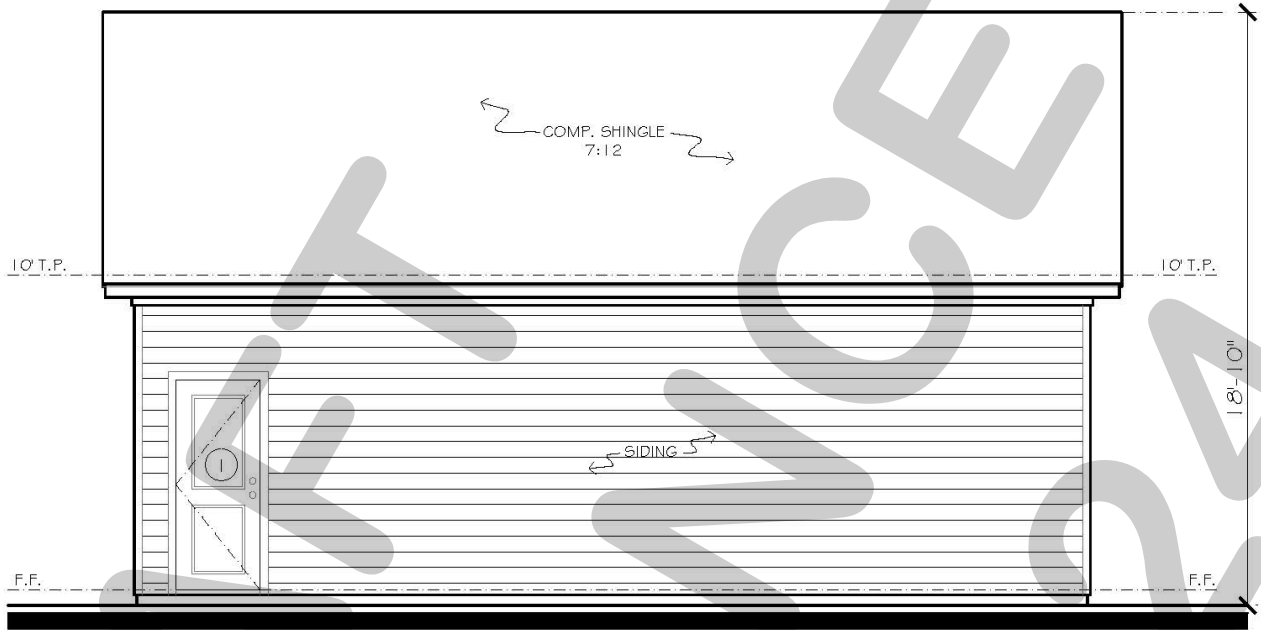


REAR ELEVATION

SCALE: 3/16" = 1'-0"

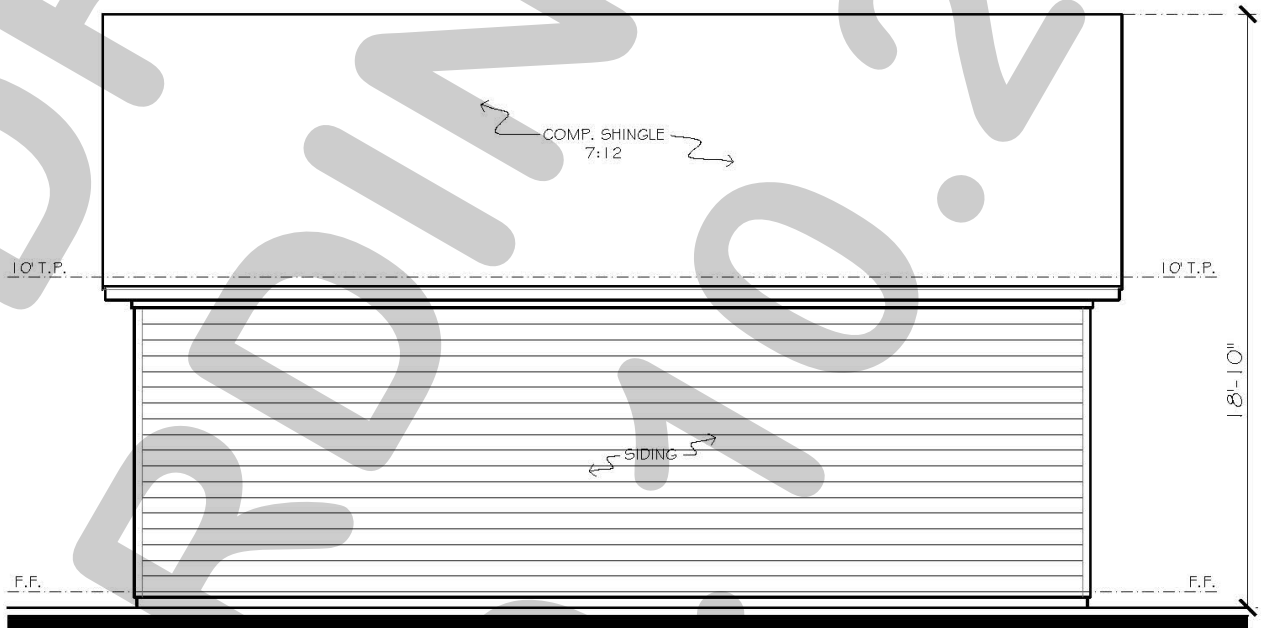


Exhibit 'C':  
Building Elevations



RIGHT ELEVATION

SCALE: 3/16" = 1'-0"



LEFT ELEVATION

SCALE: 3/16" = 1'-0"



# CITY OF ROCKWALL

## PLANNING AND ZONING COMMISSION CASE MEMO

### PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

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**TO:** Planning and Zoning Commission  
**DATE:** September 10, 2024  
**APPLICANT:** Scott Popescu; *Brookhaven Media*  
**CASE NUMBER:** Z2024-039; *Specific Use Permit (SUP) for a Short-Term Rental at 610 Christan Court*

---

### SUMMARY

Hold a public hearing to discuss and consider a request by Scott Popescu of Brookhaven Media for the approval of a Specific Use Permit (SUP) for a *Short-Term Rental* on a 0.25-acre parcel of land identified as Lot 2, Block I, Northshore, Phase 2B Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 10 (SF-10) District, addressed as 4153 Panther Ridge Lane, and take any action necessary.

### BACKGROUND

According to the City's annexation ordinances, the subject property was annexed on June 20, 1959 by *Ordinance No. 59-02 [Case No. A1959-002]*. According to the City's *Historic Zoning Maps*, the subject property was zoned Single-Family 2 (SF-2) District as of January 3, 1972. At some point between January 22, 1982 and May 16, 1983 the subject property was rezoned from Single-Family 2 (SF-2) District to Single-Family 10 (SF-10) District, according to the May 16, 1983 historic zoning map. On March 3, 1986, the City Council approved final plat that establish the subject property as Lot 2, Block I, Northshore Phase 2B Addition. According to Rockwall Central Appraisal District (RCAD), currently situated on the subject property is a 2,728 SF single family home that was constructed in 1993 and a 100 SF storage shed that was constructed in 2006.

### PURPOSE

The applicant -- *Scott Popescu* -- is requesting the approval of a Specific Use Permit (SUP) for the purpose of allowing a *Short-Term Rental (Non-Owner-Occupied Single-Family Home)* on the subject property that is located within 1,000-feet of an existing *Short-Term Rental (Non-Owner-Occupied Single-Family Home)*.

### ADJACENT LAND USES AND ACCESS

The subject property is addressed as 610 Christan Court. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property are three (3) parcels of land (*i.e. Lots 3-5, Block I, Northshore Phase 2B Addition*) developed with single-family homes. Beyond this is Montclair Street, which is identified as a R2 (*i.e. residential, two [2] lane, undivided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Following this are two (2) parcels of land (*i.e. Lots 1 & 16, Block J, Northshore Phase 2B Addition*) developed within single-family homes. North of this is North Hills Drive, which is identified as a R2 (*i.e. residential, two [2] lane, undivided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. All of these properties are zoned Single-Family 10 (SF-10) District.

South: Directly south of the subject property is 0.2296-acre parcel of land (*i.e. Lot 1, Block I, Northshore Phase 2B Addition*) developed with a single-family home zoned Single-Family 10 (SF-10) District. Beyond this is Stoneybrook Drive, which is identified as a R2 (*i.e. residential, two [2] lane, undivided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Following this is the Northshore Phase 2A Subdivision, which consists of 80 single-family homes and is zoned Single-Family 10 (SF-10) District.

East: Directly east of the subject property is N. Lakeshore Drive, which is identified as a A4D (i.e. arterial, four [4] lane, divided roadway) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is a 2.92-acre parcel of land (i.e. Lot 1, Block A, St. Benedict's Anglican Church Addition) developed with a House of Worship (i.e. St. Benedict's Anglican Church) zoned Single-Family 10 (SF-10) District.

West: Directly west of the subject property is the remainder of the Northshore Phase 2B Subdivision, which is zoned Single-Family 10 (SF-10) District. Beyond this is Lake Ray Hubbard.

MAP 1: LOCATION MAP  
YELLOW: SUBJECT PROPERTY



### **CHARACTERISTICS OF THE REQUEST AND CONFORMANCE TO THE CITY'S CODES**

On April 1, 2024, the City Council approved *Ordinance No. 24-10*, which amended both the Unified Development Code (UDC) and the Municipal Code of Ordinances for the purpose of creating zoning and regulatory restrictions for *Short-Term Rentals*. Specifically, this ordinance: [1] amended the *Permissible Land Use Charts* to create a *Short-Term Rental* land use, [2] created *Conditional Land Use Standards* for each type of *Short-Term Rental* (i.e. *Owner Occupied* and *Non-Owner Occupied*), [3] created a *Short-Term Rental Permit and Registration Program*, [4] created *General Standards for Short-Term Rentals*, [5] established a minimum general commercial insurance coverage requirement, [6] established enforcement and penalty procedures, [7] required a responsible party as part of the permit and registration, [8] created an appeal process, and [9] established non-conforming rights for properties that were in operation prior to the adoption of the ordinance. As part of this process, staff sent out notices to all existing *Short-Term Rentals* in the City of Rockwall, and established a *grace period* from April 1, 2024 to July 1, 2024 to allow existing *Short-Term Rentals* the ability to submit for a *Short-Term Rental Permit and Registration*. During this *grace period* existing *Short-Term Rentals* were exempted from the proximity requirements established by the zoning ordinance.

According to Article 13, *Definitions*, of the Unified Development Code (UDC), a *Short-Term Rental* is defined as "... a residential dwelling unit, apartment, condominium, or *Guest Quarters/Secondary Living Unit/Accessory Dwelling Unit* in which the entire structure or a portion thereof is offered for rent for a period exceeding 12-hours, but less than 30 consecutive days, to a particular occupant. In practice, a *Short-Term Rental* is considered to be a residential land use, and is not considered to be a *Limited-Service Hotel, Full-Service Hotel, Residence Hotel, Motel, or Bed and Breakfast* as defined in this Unified Development Code (UDC)". This definition section goes on to define a *Non-Owner Occupied Short-Term Rental* as "(a) single-family home, townhome, or duplex -- or a portion thereof -- in which the property owner or operator does not occupy the dwelling unit during the rental, or that the owner or property owner does not occupy another dwelling unit -- or portion thereof -- on the same property (i.e. the property owner or operator is not on-site as an occupant during the rental of the property)." According to the *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the Unified Development Code (UDC), a *Non-Owner Occupied Short-Term Rental* is permitted in a Single-Family 10 (SF-10) District with the following conditions:

- (a) *Short-Term Rentals* that are *Non-Owner-Occupied* shall not be located within 1,000-feet of another *Short-Term Rental* that is *Non-Owner Occupied*; however, *Short-Term Rentals* that were in existence prior to April 1, 2024 that [1] meet the criteria established in Subsection 06.05, *Non-Conforming Short-Term Rentals*, of this Article, and [2] received a valid permit and registration -- in accordance with Article 2, *Short-Term Rentals*, of Chapter 13, *Rental Housing*, of the *Municipal Code of Ordinances* -- prior to July 1, 2024 shall be exempted from the proximity requirements.
- (b) *Short-Term Rentals* that are *Non-Owner-Occupied* that do not meet proximity requirements may be considered on a case-by-case basis by the Planning and Zoning Commission and City Council through a *Specific Use Permit (SUP)*. In considering a *Specific Use Permit (SUP)* for a *Short-Term Rental* that is *Non-Owner-Occupied* the Planning and Zoning Commission and City Council shall consider the size, location, and impact of the proposed and existing *Short-Term Rentals* on the adjacent residential properties and their occupants.
- (c) The *Short-Term Rental* shall not incorporate accessory land uses that are not permitted within the underlying zoning district (e.g. *Banquet Facility/Event Hall* which includes *meeting halls* and *wedding venues*) as stipulated by the Permissible Use Charts.
- (d) In order to establish and operate a *Short-Term Rental (Non-Owner-Occupied Single-Family Home, Townhome, or Duplex)* in the City of Rockwall, a permit and registration shall be required in accordance with the requirements of Article 2, *Short-Term Rentals*, of Chapter 13, *Rental Housing*, of the *Municipal Code of Ordinances*.

In this case, the applicant for the requested *Short-Term Rental (STR)* at 610 Christan Court has been in operation prior to the adoption of *Ordinance No. 24-10*, and did receive staff's notice about the grace period and pending registration; however, failed to apply for the *Short-Term Rental* prior to the deadline of July 1, 2024. When the applicant submitted the application for registration after July 1, 2024, it was determined that there was already a permitted *Non-Owner Occupied Short-Term Rental* within 795-feet of the subject property, and that the applicant's request failed to meet the proximity requirements to allow another *Non-Owner Occupied Short-Term Rental*. Based on this, the applicant was notified that a *Specific Use Permit (SUP)* would need to be requested before the *Short-Term Rental Permit* could be submitted and issued. In response to this, the applicant has provided the necessary permit application and photos of the property, which are included in the attached packet.



FIGURE 1: SUBJECT PROPERTY PROXIMITY TO EXISTING NON-OWNER-OCCUPIED SHORT-TERM RENTAL

**STAFF'S ANALYSIS**

When evaluating the *Specific Use Permit (SUP)* for a *Non-Owner-Occupied Short-Term Rental*, the Planning and Zoning Commission and City Council should assess the size, location, and impact of both the proposed and existing *Short-Term Rentals* on nearby residential properties and their occupants. This proposed *Short-Term Rental* is located 795-feet from an existing and permitted *Non-Owner-Occupied Short-Term Rental* (i.e. 1614 North Hills Drive) [Permit No. STR2024-2158] that accommodates up to ten (10) guests with four (4) bedrooms and three (3) bathrooms. The VRBO listing for the proposed *Short-Term Rental* advertises accommodations for up to 14 guests, featuring five (5) bedrooms and 3.5 bathrooms.

Staff should note that the Police Department did not have any reported incidence on the subject property since the property owner -- *Brookhaven Media* -- purchased the property in May of 2023. In addition, staff has confirmed that the proposed *Short-Term Rental* has not paid their local Hotel Occupancy Tax (*HOT Tax*) in the past. In addition, the applicant has not provided staff with the name of a local representative that resides in Rockwall County as required by the ordinance. With all this being said, this request for a *Specific Use Permit (SUP)* for a *Non-Owner-Occupied Short-Term Rental (STR)* is a discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission.

## **NOTIFICATIONS**

On August 21, 2024, staff mailed 69 notices to property owners and occupants within 500-feet of the subject property. Staff also notified the Preserve and Hillcrest at the Shores Homeowners Associations (HOAs), which are the only homeowners associations or neighborhood organizations within 1,500-feet of the subject property participating in the Neighborhood Notification Program. Additionally, staff posted a sign on the subject property, and advertised the public hearings in the Rockwall Herald Banner as required by the Unified Development Code (UDC). At the time this report was drafted, staff had received 13 notices back in opposition of the applicant's request.

## **CONDITIONS OF APPROVAL**

If the Planning and Zoning Commission chooses to recommend approval of the applicant's request for a Specific Use Permit (SUP) for a Non-Owner Occupied Short-Term Rental (STR), then staff would propose the following conditions of approval:

- (1) The applicant shall be responsible for maintaining compliance with the operational conditions contained in the Specific Use Permit (SUP) ordinance and which are detailed as follows:
  - (1) The *Subject Property* shall conform to the information provided within the Short-Term Rental Permit Application depicted in *Exhibits 'B'* of this ordinance; and,
  - (2) All unpermitted improvements on the *Subject Property* must be permitted or removed before the issuance of a Short-Term Rental Permit; and,
  - (3) After the issuance of a Short-Term Rental Permit and Registration by the City of Rockwall, should the applicant allow this permit/registration to expire, lapse or be revoked by the City of Rockwall, this Specific Use Permit (SUP) shall automatically expire and be considered abandoned in accordance with Subsection 02.02, Specific Use Permit (SUP), of Article 11, Development Applications and Review Procedures, of the Unified Development Code (UDC).
- (2) Upon obtaining a Short-Term Rental Permit and Registration, should the property owner/responsible party operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), Revocation, of Article 11, Development Applications and Revision Procedures, of the Unified Development Code (UDC) [*Ordinance No. 20-02*].



# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. \_\_\_\_\_

**NOTE:** THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: \_\_\_\_\_

CITY ENGINEER: \_\_\_\_\_

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

### PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) <sup>1</sup>
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- FINAL PLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- REPLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

### SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

### ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) <sup>1 & 2</sup>
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) <sup>1</sup>

### OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) <sup>2</sup>

#### NOTES:

<sup>1</sup>: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

<sup>2</sup>: A **\$1,000.00** FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

## PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 610 Christan Ct. Rockwall, TX 75087

SUBDIVISION North Shore PH 2B

LOT

2

BLOCK

1

GENERAL LOCATION Off Route 66

## ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING SF-10

CURRENT USE A1 (Long term rental)

PROPOSED ZONING SF-10

PROPOSED USE Short term rental

ACREAGE .25

LOTS [CURRENT] 2

LOTS [PROPOSED] 2

**SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

## OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER Brookhaven Media

APPLICANT

CONTACT PERSON Scott Popescu

CONTACT PERSON

ADDRESS 4153 Panther Ridge Ln

ADDRESS

CITY, STATE & ZIP Plano, Texas 75074

CITY, STATE & ZIP

PHONE 469-993-8222

PHONE

E-MAIL scott@brookhavenmedia.com

E-MAIL

## NOTARY VERIFICATION [REQUIRED]

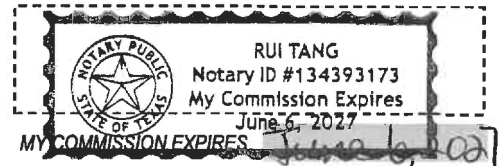
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Scott J. Popescu [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 215 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 16 DAY OF August, 2024 BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 16th DAY OF August, 2024


OWNER'S SIGNATURE

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS





Z2024-039: Specific Use Permit (SUP) for a Short Term Rental at 610 Christian Court

Case Location Map = 



# City of Rockwall

Planning & Zoning Department  
 385 S. Goliad Street  
 Rockwall, Texas 75087  
 (P): (972) 771-7745  
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

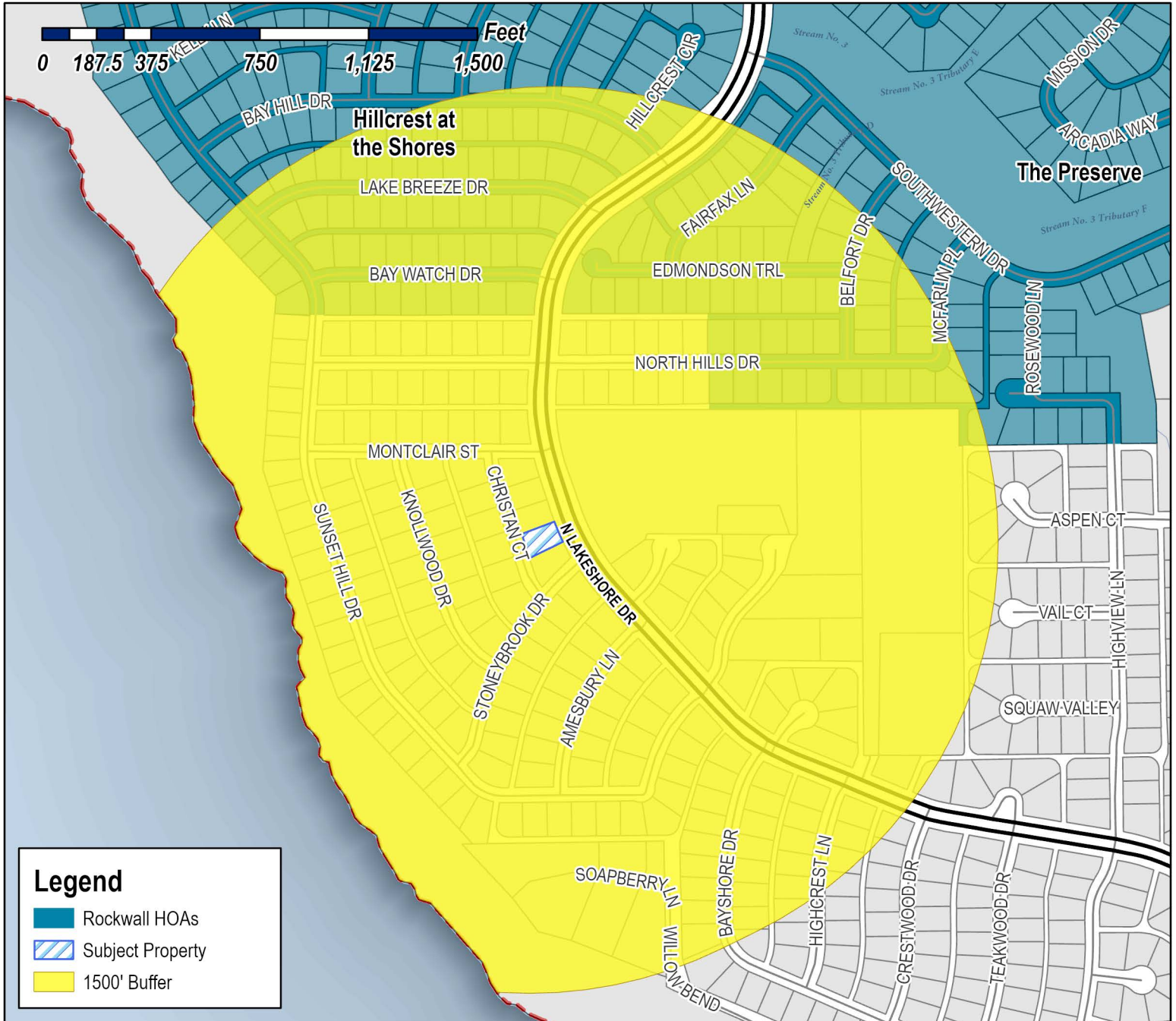




# City of Rockwall

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**Case Number:** Z2024-024  
**Case Name:** SUP for a Short Term Rental  
**Case Type:** Zoning  
**Zoning:** Single-Family 10 (SF-10) District  
**Case Address:** 610 Christian Court



**Date Saved:** 8/16/2024  
 For Questions on this Case Call (972) 771-7745



**From:** [Zavala, Melanie](#)  
**Cc:** [Miller, Ryan](#); [Lee, Henry](#); [Ross, Bethany](#); [Guevara, Angelica](#)  
**Subject:** Neighborhood Notification Email [Z2024-039]  
**Date:** Wednesday, August 21, 2024 2:47:46 PM  
**Attachments:** [Public Notice \(P&Z\) \(08.21.2024\).pdf](#)  
[HOA Map.pdf](#)

---

HOA/Neighborhood Association Representative:

Per your participation in the [Neighborhood Notification Program](#), you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that will be published in the Rockwall Herald Banner on [Friday, August 22, 2024](#). The Planning and Zoning Commission will hold a public hearing on [Tuesday, September 10, 2024 at 6:00 PM](#), and the City Council will hold a public hearing on [Monday, September 16, 2024 at 6:00 PM](#). Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to [Planning@rockwall.com](mailto:Planning@rockwall.com) at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website: <https://sites.google.com/site/rockwallplanning/development/development-cases>.

Z2024-039: SUP for a Short Term Rental at 610 Christan Court  
Hold a public hearing to discuss and consider a request by Scott Popescu of Brookhaven Media for the approval of a [Specific Use Permit \(SUP\)](#) for a Short-Term Rental on a 0.25-acre parcel of land identified as Lot 2, Block I, Northshore, Phase 2B Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 10 (SF-10) District, addressed as 610 Christan Court, and take any action necessary.

Thank you,

***Melanie Zavala***

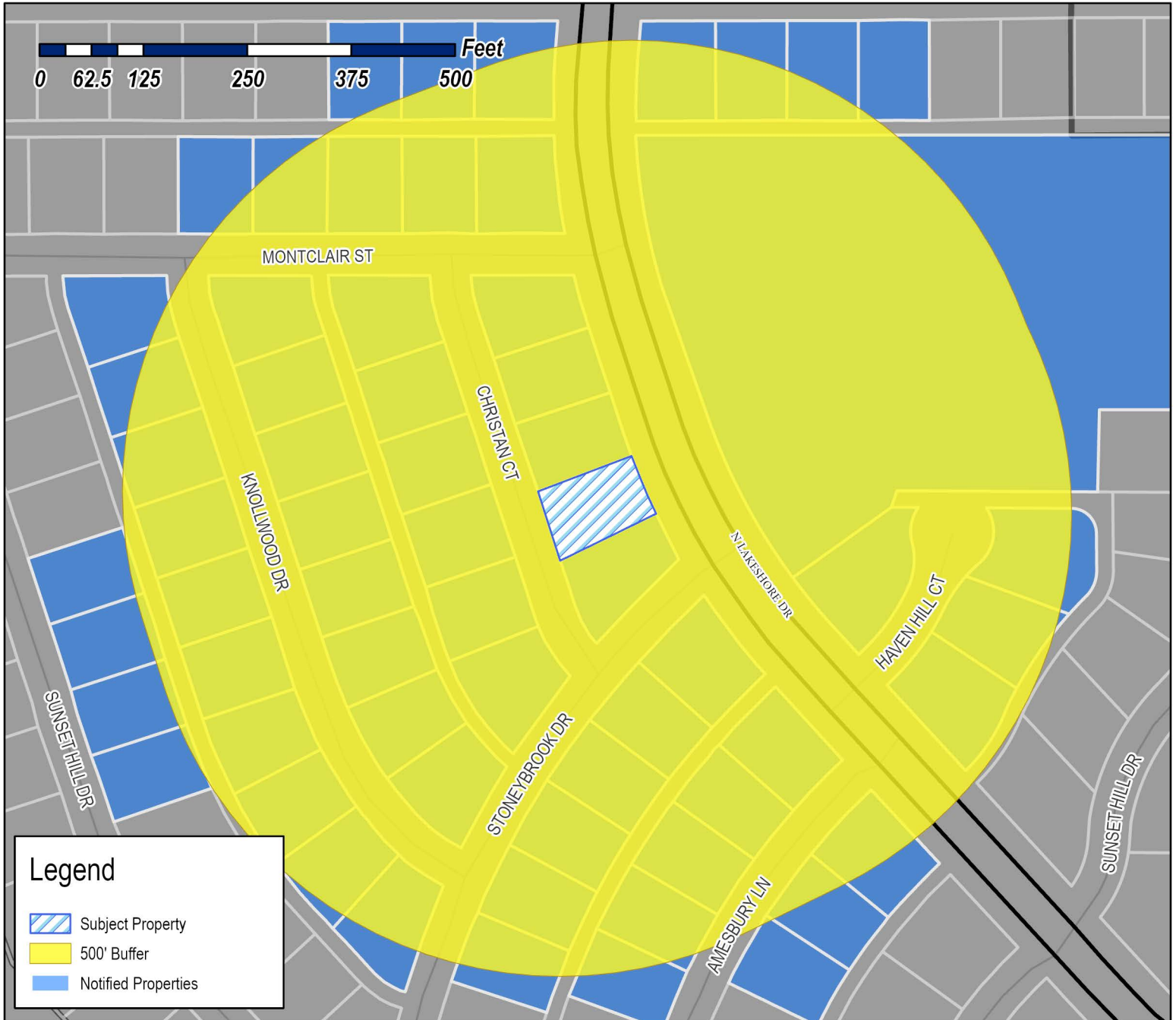
Planning & Zoning Coordinator | Planning Dept. | City of Rockwall  
385 S. Goliad Street | Rockwall, TX 75087  
[Planning & Zoning Rockwall](#)  
972-771-7745 Ext. 6568



# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087  
(P): (972) 771-7745  
(W): www.rockwall.com

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**Case Number:** Z2024-039  
**Case Name:** SUP for a Short Term Rental  
**Case Type:** Zoning  
**Zoning:** Single-Family 10 (SF-10) District  
**Case Address:** 610 Christan Court

**Date Saved:** 8/16/2024

For Questions on this Case Call: (972) 771-7745



SRP SUB, LLC  
1131 W WARNER RD STE 102  
SCOTTSDALE, AZ 85284

STILES LAURA S  
15 BREEZY KNOLL LN  
LAKE ST LOUIS, MO 63367

FRAGA JAVIER SANTOS  
1593 NORTH HILLS DR  
ROCKWALL, TX 75087

GONZALES JAMES E & DEENA L  
1595 HAVEN HILL CT  
ROCKWALL, TX 75087

MURAKHOVSKY VLADISLAV AND YANA  
1595 N HILLS DRIVE  
ROCKWALL, TX 75087

LANGFORD DAVID NEIL AND MELANIE HILBERT  
1597 HAVEN HILL COURT  
ROCKWALL, TX 75087

SHEEHAN JAMES C & JULIA  
1597 N HILLS DR  
ROCKWALL, TX 75087

VILLAPANDO ANTONIO & MARIA  
1599 HAVEN HILL CT  
ROCKWALL, TX 75087

WU MEIKI & KING CHUNG TSO  
1599 N HILLS DR  
ROCKWALL, TX 75087

JONES JOHNNY DEWAYNE & MARTHA A  
1600 N LAKESHORE DRIVE  
ROCKWALL, TX 75087

ONCEBAY EDSON DANIEL & JENNIFER B  
BAZZETTI BARRIENTOS  
1601 N HILLS DR  
ROCKWALL, TX 75087

HERNANDEZ SAMUEL  
1601 STONEYBROOK DRIVE  
ROCKWALL, TX 75087

ORTIZ ADELLA J  
1602 AMESBURY LN  
ROCKWALL, TX 75087

SAMPSON DEAN & BARBARA KELLUM  
1602 MONTCLAIR DR  
ROCKWALL, TX 75087

CONFIDENTIAL  
1603 NORTH HILLS DRIVE  
ROCKWALL, TX 75087

SAENZ DIANA GONZALEZ  
1603 STONEYBROOK DR  
ROCKWALL, TX 75087

HAMMILL JOHN AND LISA  
1604 AMESBURY LANE  
ROCKWALL, TX 75087

PHILIPS PAUL AND PATRA M  
1604 MONTCLAIR ST  
ROCKWALL, TX 75087

SULLIVAN JESSICA AND KEVIN  
1605 AMESBURY LN  
ROCKWALL, TX 75087

CLARK LUTHER A ETUX  
1605 N HILLS DR  
ROCKWALL, TX 75087

FLORES AMIE ELAINE AND BALDEMAR SOSA  
1605 STONEYBROOK DRIVE  
ROCKWALL, TX 75087

POWERS LISA A AND ROBERT H  
1606 AMESBURY LN  
ROCKWALL, TX 75087

JISTEL MICHAEL & SABRA  
1606 MONTCLAIR DR  
ROCKWALL, TX 75087

BOUK JOSHUA  
1607 AMESBURY LN  
ROCKWALL, TX 75087

SHIELDS CHARLENE  
1607 STONEYBROOK DRIVE  
ROCKWALL, TX 75087

BURTON DAVID A & MARY KAY  
1608 AMESBURY LN  
ROCKWALL, TX 75087

BOULLION PAMELA S TOPPER  
1608 MONTCLAIR DR  
ROCKWALL, TX 75087

ADAMS BRAD AND KASHA  
1609 AMESBURY  
ROCKWALL, TX 75087

CASE DAVID L ETUX  
1609 STONEYBROOK DR  
ROCKWALL, TX 75087

TUCKER EARL W & MELINDA K  
1610 AMESBURY LN  
ROCKWALL, TX 75087

TOCHKOV KIRIL AND KARIN  
1610 MONTCLAIR DR  
ROCKWALL, TX 75087

SARVER WANDA & DONALD  
1611 STONEYBROOK DR  
ROCKWALL, TX 75087

RESIDENT  
1616 NORTH LAKESHORE DR  
ROCKWALL, TX 75087

ST BENEDICT ANGLICAN CHURCH-REFORMED  
EPISCOPAL  
304 GLENN AVENUE  
ROCKWALL, TX 75087

BROOKHAVEN MEDIA, LLC  
5909 HUDSON ST  
DALLAS, TX 75206

PUSKARICH THOMAS & EMILY  
607 CHRISTAN CT  
ROCKWALL, TX 75087

GLADNEY CATHERINE DIANE SELBY  
607 KNOLLWOOD DR  
ROCKWALL, TX 75087

GLENN W GOODRICH JR & KELLYE JAYE  
CRAWFORD REVOCABLE TRUST  
GLENN W GOODRICH JR & KELLYE JAYE  
CRAWFORD - TRUSTEES  
608 CHRISTAN CT  
ROCKWALL, TX 75087

GALLOWAY PRESTON AND BRITTANY  
609 CHRISTAN COURT  
ROCKWALL, TX 75087

MARY ANN OBRIEN REVOCABLE TRUST  
DANIEL F OBRIEN- TRUSTEE  
609 KNOLLWOOD DR  
ROCKWALL, TX 75087

RESIDENT  
610 CHRISTAN CT  
ROCKWALL, TX 75087

TORKELSON KELLY L & STEVEN A  
610 KNOLLWOOD DR  
ROCKWALL, TX 75087

HAWKINS KRISTINA  
611 CHRISTAN CT  
ROCKWALL, TX 75087

GOLDIN MICHAEL & CAROL  
611 KNOLLWOOD DR  
ROCKWALL, TX 75087

STEWART-JOHNSON LOIS DIANNE  
612 CHRISTAN CT  
ROCKWALL, TX 75087

ELLIS TEX W & MONA E  
612 KNOLLWOOD DRIVE  
ROCKWALL, TX 75087

KIDDER CHRISTINA SHEA  
613 CHRISTAN CT  
ROCKWALL, TX 75087

SMITH BARRY & HEIDI  
613 KNOLLWOOD DR  
ROCKWALL, TX 75087

RESIDENT  
614 KNOLLWOOD DR  
ROCKWALL, TX 75087

CARTER KAREN  
614 CHRISTAN COURT  
ROCKWALL, TX 75087

WALKER DIANE C AND MICHAEL W  
615 CHRISTAN CT  
ROCKWALL, TX 75087

COX MATTHEW AND HAYLEY  
615 KNOLLWOOD DRIVE  
ROCKWALL, TX 75087

HARMON ROBERT R & KIMBERLY  
616 CHRISTAN CT  
ROCKWALL, TX 75087

ETTER CHARLES W & LINDA L  
616 KNOLLWOOD DR  
ROCKWALL, TX 75087

GRIFFIN BILLY G AND PATRICIA L  
617 CHRISTAN CT  
ROCKWALL, TX 75087

SAENZ ORLANDO  
617 KNOLLWOOD DR  
ROCKWALL, TX 75087

HAMMONDS MARK & STEPHANIE  
618 KNOLLWOOD DR  
ROCKWALL, TX 75087

DYLONG RONALD C & PAULA S  
618 SUNSET HILL DR  
ROCKWALL, TX 75087

WILLIAMS ELESTER & HATTIE  
619 KNOLLWOOD DR  
ROCKWALL, TX 75087

RESIDENT  
620 SUNSET HILL DR  
ROCKWALL, TX 75087

DEMEYER DANIEL T & ELAINE S  
620 KNOLLWOOD DR  
ROCKWALL, TX 75087

HOSACK ALLEN JAMES ETUX  
621 KNOLLWOOD DR  
ROCKWALL, TX 75087

UPTHEGROVE JOSHUA R  
622 KNOLLWOOD DR  
ROCKWALL, TX 75087

CARABALLO NATALIA TEMBONI  
622 SUNSET HILL DRIVE  
ROCKWALL, TX 75087

RESIDENT  
623 KNOLLWOOD DR  
ROCKWALL, TX 75087

EDWARDS BRYAN K & SUSAN L  
624 KNOLLWOOD DR  
ROCKWALL, TX 75087

CHANDLER WILLIAM E & LISA D  
624 SUNSET HILL DR  
ROCKWALL, TX 75087

AARON DONALD AND  
LAURA SAXON  
625 KNOLLWOOD DR  
ROCKWALL, TX 75087

MITCHELL JAMES B & TEENA L  
6309 GLENWOOD DR  
AMARILLO, TX 79119

# PUBLIC NOTICE



CITY OF ROCKWALL  
PLANNING AND ZONING DEPARTMENT  
PHONE: (972) 771-7745  
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

## Z2024-039: SUP for a Short-Term Rental

Hold a public hearing to discuss and consider a request by Scott Popescu of Brookhaven Media for the approval of a *Specific Use Permit (SUP)* for a Short-Term Rental on a 0.25-acre parcel of land identified as Lot 2, Block I, Northshore, Phase 2B Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 10 (SF-10) District, addressed as 610 Christan Court, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, September 10, 2024 at 6:00 PM, and the City Council will hold a public hearing on Monday, September 16, 2024 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

**Henry Lee**  
Rockwall Planning and Zoning Dept.  
385 S. Goliad Street  
Rockwall, TX 75087

You may also email your comments to the Planning Department at [planning@rockwall.com](mailto:planning@rockwall.com). If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, September 16, 2024 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

**Ryan Miller, AICP**  
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

PLEASE RETURN THE BELOW FORM

## Case No. Z2024-039: SUP for a Short-Term Rental

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

Four horizontal grey bars for providing reasons for support or opposition.

Name:   
Address:

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

# Zoning & Specific Use Permit Input Form

## Case Number \*

Please provide the Case Reference Number of the Zoning or Specific Use Permit (SUP) request that you are providing input on (Example: Z2019-001).

Z2024-039 SUP

Please place a check mark on the appropriate line below: \*

I am in favor of the request.

I am in opposition to the request.

Please provide any additional information concerning your support or opposition to the request.

Will lower the value of our homes in the Northshore subdivision. .

There is already a short term rental on this street.

Complaints from partying noise to people trespassing on other properties.

## Respondent Information

Please provide your information.

## First Name \*

Martha

Last Name \*

Cobb

Address \*

625 Sunset Hill Dr

City \*

Rockwall

State \*

Texas

Zip Code \*

75087

Please check all that apply: \*

- I live nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I work nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I own property nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I own a business nearby the proposed Zoning or Specific Use Permit (SUP) request.
- Other: .....



How did you hear about this Zoning or Specific Use Permit (SUP) request? \*

I received a property owner notification in the mail.

I read about the request on the City's website.

I saw a zoning sign on the property.

I read about the request in the Rockwall Herald Banner.

My neighbors told me about the request.

Other: .....

This content is neither created nor endorsed by Google.

Google Forms

# Zoning & Specific Use Permit Input Form

## Case Number \*

Please provide the Case Reference Number of the Zoning or Specific Use Permit (SUP) request that you are providing input on (Example: Z2019-001).

Z2024-039

Please place a check mark on the appropriate line below: \*

I am in favor of the request.

I am in opposition to the request.

Please provide any additional information concerning your support or opposition to the request.

The rentals we have in our neighborhood now do not enhance the value of our property.

## Respondent Information

Please provide your information.

## First Name \*

Roland

Last Name \*

Cobb

Address \*

625 Sunset Hill Dr

City \*

Rockwall

State \*

Tx

Zip Code \*

75087

Please check all that apply: \*

- I live nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I work nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I own property nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I own a business nearby the proposed Zoning or Specific Use Permit (SUP) request.
- Other: .....

How did you hear about this Zoning or Specific Use Permit (SUP) request? \*

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I read about the request in the Rockwall Herald Banner.

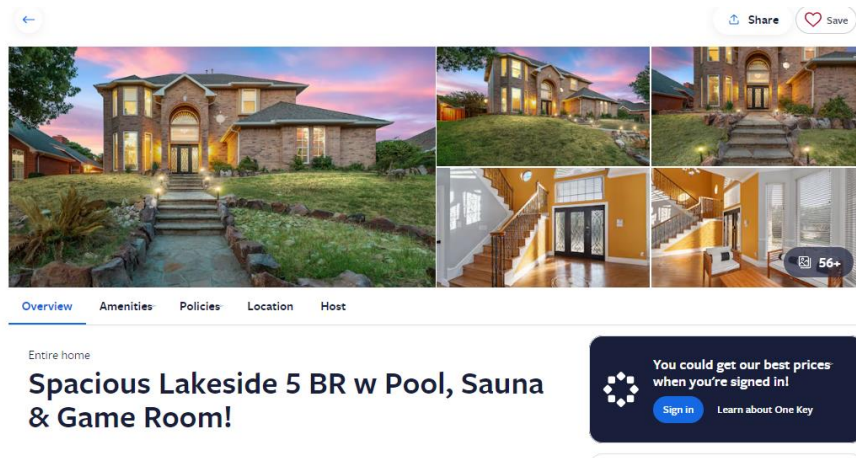
My neighbors told me about the request.

Other: .....

This content is neither created nor endorsed by Google.

Google Forms

610 Christan Court was sold in early June 2023 to Brookhaven Media, LLC. In mid-June I met a man claiming to be one of the owners. He stated that they were going to use the house as an Airbnb and that he and his team lived in Dallas. About two months later the house went live on both Airbnb and VRBO.



It was advertised as above, with a list of amenities and pictures making it look like a great party spot. The company did, however, include a list of policies that included being quiet at night.

As the house was rented, issues soon arose. They have had trailers in the yard and street, broken water lines on the pool, loud parties in the evenings, mounds of garbage in the yard, rodent and insect infestations and the yard and house have become run down. While there are cameras outside the property, the owners are not seen at the house and only minimal maintenance is ongoing.

Since owning the house, they have created mounds of garbage and trash. This is a review from their first customer:

Communication	4.6
Location	4.7
Value	4.2

**Gabe**  
Waco, Texas

★☆☆☆☆ August 2023 · Stayed with kids

We arrived to piles of trash bags in the driveway and overflowing trash cans. Went inside and found the pool was disgusting. The filter wasn't on, the pool wasn't full, and it was covered in dead insects. Scott responded quickly and said the pool guy would be there in the morning and they'd offer a check out time 6 hours later. Next morning no hot water and the gas cooktop that wont light. Walked around and found the gas meter had a padlock on it. Scott says a tech is on his way. Don't hear from him until the next day that actually he will give us \$300 for cold showers and no stove. In the mean time all our ice cream melted and the milk was getting warm because the fridge couldn't keep the food to temperature. Trying to make things work because it was the kids last vacation of summer but cold showers, dirty pool, crumbly fridge equals not happy. Then insult me with \$300 on a \$1400 stay? Did raise it to \$500 but how about a full refund? Oh and bring your own grill, they don't have one.

**Response from Scott**  
September 2023

We are sorry that we could not leave on good terms but I would like to set the record straight that I did offer you a full refund after making your concerns known and provided you with several options to help mitigate your concern... [Show more](#)


**Tiffany**

The mounds of trash and garbage have been an ongoing nuisance, the trash being stored in the front yard, the back yard, and even the garage. These are recent photos from July after the house was rented. There was no effort to meet the Monday trash service and piles of trash sat until Thursday. When emptied, trash bins remain at the street until the next rental.



Trash has consistently been stored in the garage and back yard where it was out of site and out of mind. They previously made no effort to move trash to the curb for weeks at a time. This is still ongoing as this review states:

✓ Accuracy	4.3
🔍 Check-in	5.0
💬 Communication	4.6
📍 Location	4.7
💎 Value	4.2

 **Erika**  
Jonesboro, Arkansas

★☆☆☆☆ · July 2024 · Stayed with a pet

The images do not reflect the state of the pool, mattresses, or sleeping arrangements for 10 adults and 3 kids. We walked into a stench of rotting food. There were trash bags overflowing from the three outside bins and filling the garage with about 20 bags of heated trash bags. The rotting food smell was inescapable even beyond the bunk bed game room next to the entrance. The pool has staining and signs of extremely poor maintenance with overhead decking that's broken and hanging with nails exposed. There were cigarette butts, old charcoal, dirty socks, empty cans of bug spray, and popped balloons all around the back yard. Each of the mattresses were about 3 inches, making each beam felt when you sit on them. There were spaces to sleep for only 12- we booked for 13 guests. I contacted the phone number listed, and the host said a complete refund would be sent. This "mistake," blamed on the cleaning crew, caused us all to scramble to find somewhere to sleep. Still upset, but refunded.

The fallout of this collection of trash is an increased rodent and cockroach population. We have never had a problem with cockroaches, but now I am finding them in my yard. I have had my yard treated twice this year to combat insect issues. We do live near the lake, and rodents are around but they are now emboldened, digging in these trash piles and reproducing at new increased rates.

The exterior of the home has suffered. Any watering of the yard has ended and the majority of the plantings are now dead. While the yard is mowed, maintenance is basic at best. They are allowing weeds to grow in the sidewalks, and the back fence needs to be replaced.



There was a break in a water line associated with the pool, as well as a pump problem. Only after a neighbor and NIS were insistent did the owner repair the line and pump. This ended flooding of the street daily at @10:30 AM for over two months.

Two different groups renting the house arrived with trailers which were parked in the driveway and on the street. NIS has worked diligently to ensure we keep up the standards of the neighborhood.

Due to low ratings, Brookhaven Media LLC began to drop the nightly rate. It has been listed as low as \$218.00 per night on Airbnb and VRBO. This low rate has brought several questionable people to our neighborhood. Neighbors have called police due to a late-night weekend party recently.

The screenshot shows an Airbnb listing for a property titled "Spacious Lakeside 5 BR w Pool, Sauna & Game Room!". The listing includes a main image of the house at dusk and several smaller images showing the interior, including a staircase and a living area. The listing details are as follows:

- Entire home
- 5 bedrooms
- 3+ bathrooms
- Sleeps 14
- Popular amenities: Washer, Air conditioning, Pet friendly, Dryer
- Price: \$218 per night
- Free cancellation: Before Sun, Aug 25
- Your dates are available
- Start date: Sep 8
- End date: Sep 14
- Travelers: 1 traveler





To summarize, these ongoing problems are exactly why Rockwall has enacted a permit system for Airbnb homes. This company is benefiting from the desirable location and amenities in Rockwall without making any effort to make our town better or even ensure it stays the same. As unpermitted renters they are not paying hotel/motel tax or contributing to our infrastructure. They have been less than responsive to any issue that has occurred and have been a bad actor on Rockwall's behalf with travelers.

# Zoning & Specific Use Permit Input Form

## Case Number \*

Please provide the Case Reference Number of the Zoning or Specific Use Permit (SUP) request that you are providing input on (Example: Z2019-001).

Z2024-039

Please place a check mark on the appropriate line below: \*

I am in favor of the request.

I am in opposition to the request.

Please provide any additional information concerning your support or opposition to the request.

1. Poor yard up keep 2. Trash piled up at garage and street 3. Rodents and large cockroaches in yard on fence coming into my property 4.no emergency contact provided to neighbors 5. Noise levels 6. Terrible reviews from occupants on the Airbnb site

## Respondent Information

Please provide your information.

## First Name \*

Lois

Last Name \*

Johnson

Address \*

613 christan ct

City \*

Rockwall

State \*

Tx

Zip Code \*

75087

Please check all that apply: \*

- I live nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I work nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I own property nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I own a business nearby the proposed Zoning or Specific Use Permit (SUP) request.
- Other: .....

How did you hear about this Zoning or Specific Use Permit (SUP) request? \*

- I received a property owner notification in the mail.
- I read about the request on the City's website.
- I saw a zoning sign on the property.
- I read about the request in the Rockwall Herald Banner.
- My neighbors told me about the request.
- Other: .....

This content is neither created nor endorsed by Google.



# Zoning & Specific Use Permit Input Form

## Case Number \*

Please provide the Case Reference Number of the Zoning or Specific Use Permit (SUP) request that you are providing input on (Example: Z2019-001).

Z2024-039

Please place a check mark on the appropriate line below: \*

I am in favor of the request.

I am in opposition to the request.

Please provide any additional information concerning your support or opposition to the request.

Not appropriate for this area

## Respondent Information

Please provide your information.

## First Name \*

Karen

Last Name \*

Kille

Address \*

608 Sunset Hill Dr

City \*

Rockwall

State \*

TX

Zip Code \*

75087

Please check all that apply: \*

- I live nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I work nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I own property nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I own a business nearby the proposed Zoning or Specific Use Permit (SUP) request.
- Other: .....

How did you hear about this Zoning or Specific Use Permit (SUP) request? \*

I received a property owner notification in the mail.

I read about the request on the City's website.

I saw a zoning sign on the property.

I read about the request in the Rockwall Herald Banner.

My neighbors told me about the request.

Other: .....

This content is neither created nor endorsed by Google.

Google Forms

# Zoning & Specific Use Permit Input Form

## Case Number \*

Please provide the Case Reference Number of the Zoning or Specific Use Permit (SUP) request that you are providing input on (Example: Z2019-001).

Z2024-039

Please place a check mark on the appropriate line below: \*

I am in favor of the request.

I am in opposition to the request.

Please provide any additional information concerning your support or opposition to the request.

weekend late night traffic,

## Respondent Information

Please provide your information.

## First Name \*

Delma



Last Name \*

Perez

Address \*

1615 N Hills Dr

City \*

Rockwall

State \*

TX

Zip Code \*

75087

Please check all that apply: \*

- I live nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I work nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I own property nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I own a business nearby the proposed Zoning or Specific Use Permit (SUP) request.
- Other: .....

How did you hear about this Zoning or Specific Use Permit (SUP) request? \*

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Other: .....

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Google Forms

**From:** [Robert Powers](#)  
**To:** [Planning](#)  
**Subject:** Z2024-039 SUP for a short term rental  
**Date:** Wednesday, August 28, 2024 11:43:24 PM

---

From: Robert Powers/1606 Amesbury Lane 75087

Case #: Z2024-039 SUP for a short term rental

I am OPPOSED to the request for the reasons below:

Credible studies and first hand experience show the creation of transient properties undermine a neighborhood's social dynamic and lessens the ability of the neighborhood to maintain acceptable norms/behavior due to the frequent turn-over of short term renters.

Also there is evidence that neighborhoods with short term rentals trend upward in relation to police calls/activity and incur more complaints to governing authorities.

Hence, short term rentals tend to erode the natural ability of a given neighborhood to prevent disorder.

This does suggest that elevated numbers of "tourists" bring crime with them. However, it suggests a transient population often brings unsavory behaviors with them. Behaviors associated with vacationers at a get-away; which are less familiar or accepted in a residential neighborhood.

**CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.**

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# Zoning & Specific Use Permit Input Form

## Case Number \*

Please provide the Case Reference Number of the Zoning or Specific Use Permit (SUP) request that you are providing input on (Example: Z2019-001).

Z2024-039

Please place a check mark on the appropriate line below: \*

I am in favor of the request.

I am in opposition to the request.

Please provide any additional information concerning your support or opposition to the request.

There is an AirBnB across the street from my house. There's a steady stream of strangers weekly, parking and blocking my entry sidewalk, sometimes loud parties. Worrisome to have such a large number of strangers partying across from me.

## Respondent Information

Please provide your information.

## First Name \*

Jamie

Last Name \*

Rubush

Address \*

1613 North Hills Drive

City \*

Rockwall

State \*

Texas

Zip Code \*

75087

Please check all that apply: \*

- I live nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I work nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I own property nearby the proposed Zoning or Specific Use Permit (SUP) request.
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# Zoning & Specific Use Permit Input Form

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Z2024-039

Please place a check mark on the appropriate line below: \*

I am in favor of the request.

I am in opposition to the request.

Please provide any additional information concerning your support or opposition to the request.

## Respondent Information

Please provide your information.

## First Name \*

William

Last Name \*

Chandler

Address \*

624 Sunset Hill Dr

City \*

Rockwall

State \*

Texas

Zip Code \*

75087

Please check all that apply: \*

- I live nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I work nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I own property nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I own a business nearby the proposed Zoning or Specific Use Permit (SUP) request.
- Other: .....



How did you hear about this Zoning or Specific Use Permit (SUP) request? \*

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- I saw a zoning sign on the property.
- I read about the request in the Rockwall Herald Banner.
- My neighbors told me about the request.
- Other: .....

This content is neither created nor endorsed by Google.

Google Forms

# PUBLIC NOTICE



CITY OF ROCKWALL  
PLANNING AND ZONING DEPARTMENT  
PHONE: (972) 771-7745  
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

## Z2024-039: SUP for a Short-Term Rental

Hold a public hearing to discuss and consider a request by Scott Popescu of Brookhaven Media for the approval of a Specific Use Permit (SUP) for a Short-Term Rental on a 0.25-acre parcel of land identified as Lot 2, Block I, Northshore, Phase 2B Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 10 (SF-10) District, addressed as 610 Christian Court, and take any action necessary

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, September 10, 2024 at 6:00 PM, and the City Council will hold a public hearing on Monday, September 16, 2024 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

**Henry Lee**  
Rockwall Planning and Zoning Dept.  
385 S. Goliad Street  
Rockwall, TX 75087

You may also email your comments to the Planning Department at [planning@rockwall.com](mailto:planning@rockwall.com). If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, September 16, 2024 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

**Ryan Miller, AICP**  
Director of Planning & Zoning

USE THIS QR CODE  
TO GO DIRECTLY  
TO THE WEBSITE



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

PLEASE RETURN THE BELOW FORM

### Case No. Z2024-039: SUP for a Short-Term Rental

Please place a check mark on the appropriate line below:

I am in favor of the request for the reasons listed below.

I am opposed to the request for the reasons listed below.

*tr affia ; unknown renters*

Name: *Tom Hooton*  
Address: *605 Sunset Hill Dr Rockwall*

Tex. Loc. Gov. Code Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

# PUBLIC NOTICE



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PLANNING AND ZONING DEPARTMENT  
PHONE: (972) 771-7745  
EMAIL: [PLANNING@ROCKWALL.COM](mailto:PLANNING@ROCKWALL.COM)

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**Ryan Miller, AICP**  
Director of Planning & Zoning

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----- PLEASE RETURN THE BELOW FORM -----

## Case No. Z2024-039: SUP for a Short-Term Rental

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.  
 I am opposed to the request for the reasons listed below.

SEE ATTACHMENT

Name: JULIA SHEEHAN  
Address: 1597 N. HILLS DRIVE ROCKWALL, TX 75087

Tex. Loc. Gov. Code Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

Short-term rentals destroy "neighborhood." Here today, gone tomorrow. A neighborhood full of short-term rentals is one that destroys the "community." Our area is zoned for home owners, not for commercial hotels.

Short-term renters have no ties to the local community. As a result, late night parties accompanied by loud music distrubs the community.

Short-term rental raises the potential for increased criminal activity, including drugs and theft.

Would this latest potential addition to the short-term rentals in Rockwall be within 1,000 feet of another short-term rental?

Additionally, computer record of Z2024-039 does not match the printout sent in the mail. The computer record lists 4153 Panther Ridge Lane as the address. This is located in Plano, not Rockwall. Clicking on "Document" link does not produce the PDF file but instead times out.

# PUBLIC NOTICE



CITY OF ROCKWALL  
PLANNING AND ZONING DEPARTMENT  
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**Ryan Miller, AICP**  
Director of Planning & Zoning



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----- PLEASE RETURN THE BELOW FORM -----

### Case No. Z2024-039: SUP for a Short-Term Rental

Please place a check mark on the appropriate line below:

I am in favor of the request for the reasons listed below.

I am opposed to the request for the reasons listed below.

Noise, NOT SAFE

Name: Rachel Tso, Wu Meiki, Kingdung Tso  
Address: 1599 N Hills Dr., Rockwall, TX 75087

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE



# SHORT-TERM RENTAL PERMIT APPLICATION AND REGISTRATION

City of Rockwall  
Neighborhood Improvement Services (NIS) Department  
385 S. Goliad Street  
Rockwall, Texas 75087

STAFF USE ONLY

RECEIVED BY:

DATE RECEIVED:

STR PERMIT NO.

## ACKNOWLEDGEMENTS BY PROPERTY OWNER [PLEASE INITIAL BY EACH STATEMENT]

- SP I acknowledge that a *Short-Term Rental Permit* granted by the City of Rockwall does not supersede any property specific restrictions against *Short-Term Rentals* that may exist under law, agreement, lease, covenant, or deed restriction.
- SP I acknowledge that if three (3) violations/citations occur in any consecutive 12-month period, that my *Short-Term Rental Permit* will be revoked and that I will not be eligible to apply for a new *Short-Term Rental Permit* for 12-months from the date of revocation. In addition, I acknowledge that the City of Rockwall will have the right to inspect my property when a violation is reported or suspected.
- SP I acknowledge that a *Short-Term Rental Permit* and any non-conforming rights associated with a *Short-Term Rental Permit* are non-transferable to another property owner or operator, or address or location.
- SP I acknowledge that I am responsible for remitting all applicable state, county, and local hotel occupancy taxes in a timely manner pursuant to all applicable laws and the requirements of Chapter 13, *Rental Housing*, of the Municipal Code of Ordinance. I also acknowledge that failure to pay hotel occupancy tax will result in the revocation of my *Short-Term Rental Permit*.
- SP I acknowledge that a *Short-Term Rental Permit* is valid for a period of three (3) years, and -- as the owner of the subject property -- it is my responsibility to apply for a renewal 30-days prior to the expiration of my *Short-Term Rental Permit*. Should I fail to submit a renewal application in this time period, I will forfeit all non-conforming rights and be required to submit a new application that will be subject to all the current requirements stipulated by the Unified Development Code (UDC) and Chapter 13, *Rental Housing*, of the Municipal Code of Ordinances.

## REGISTRATION TYPE

New Registration |  Renewal of an Existing Registration

Was this property being used as a short-term rental prior to April 1, 2024?  Yes |  No

## PROPERTY INFORMATION [PLEASE PRINT]

Address	610 Christan Ct. Rockwall, TX 75087	Zoning	SF-10		
Subdivision	North Shore PH 2B	Lot	2	Block	1
General Location	Off Route 66				

## TYPE OF SHORT-TERM RENTAL

Please indicate the type of short-term rental being permitted and registered:

- SHORT-TERM RENTAL (OWNER-OCCUPIED SINGLE-FAMILY HOME, TOWNHOME, OR DUPLEX). A single-family home, townhome, or duplex -- or portion thereof -- in which the property owner or operator, as reflected in a valid lease agreement, is a resident (*i.e. occupies the primary structure*) and is present during the rental. This includes when a *Guest Quarters/Secondary Living Unit/Accessory Dwelling Unit* is detached from the primary structure and either the primary or secondary structure is rented, but the owner or operator resides on the property.
- SHORT-TERM RENTAL (NON-OWNER-OCCUPIED SINGLE-FAMILY HOME, TOWNHOME, OR DUPLEX). A single-family home, townhome, or duplex -- or a portion thereof -- in which the property owner or operator does not occupy the dwelling unit during the rental, or that the owner or property owner does not occupy another dwelling unit -- or portion thereof -- on the same property (*i.e. the property owner or operator is not on-site as an occupant during the rental of the property*).
- SHORT-TERM RENTAL (APARTMENT OR CONDOMINIUM). An apartment or condominium (*or similar multi-family structure, excluding duplexes, but including triplexes or quadplexes, as defined in this Unified Development Code [UDC]*) -- or a portion thereof -- in which the property owner or operator may or may not be an occupant of the dwelling unit during the rental.

## PROPERTY OWNER INFORMATION [PLEASE PRINT]

Name	Brookhaven Media	Phone	469-993-8222		
Mailing Address	4153 Panther Ridge Ln	City	Plano	State	TX
Email	Scott@brookhavenmedia.com	Zip Code	75074		

## RESPONSIBLE PARTY [PLEASE PRINT]

Please note that a *Responsible Party* is required for all *Short-Term Rental Permit* applications. A *Responsible Party* is a local representative that resides in Rockwall County and who is available at all time the rental is in use. The *Responsible Party* must be available within one (1) hour of contact and must be authorized to make decisions regarding the property and its occupants.

Same as Property Owner

Name	Scott Popescu	Phone	469-993-8222		
Mailing Address	4153 Panther Ridge Ln	City	Plano	State	TX
Email	scott@brookhavenmedia.com	Zip Code	75074		



# SHORT-TERM RENTAL PERMIT APPLICATION AND REGISTRATION

City of Rockwall  
Neighborhood Improvement Services (NIS) Department  
385 S. Goliad Street  
Rockwall, Texas 75087

## REQUIREMENTS CHECKLIST

Please indicate that the following required items have been provided with this application by checking the box next to each required item:

- REGISTRATION FEE.** A \$500.00 application fee payable to the City of Rockwall.
- SITE PLAN.** A site plan showing the location of the *Short-Term Rental* and the parking areas provided for the *Short-Term Rental*.
- PICTURES.** Pictures of the subject property showing the rear, front, and side yards of the subject property. In addition, pictures of all structures -- *one (1) per each façade of a structure* -- and any on-site amenities.
- COMMERCIAL INSURANCE.** Each *Short-Term Rental* shall be required to have and provide proof of general commercial insurance (*or an equivalent*) coverage of a minimum of \$500,000.00 per occurrence coverage and an aggregate of \$1,000,000.00.
- DRIVER LICENSE.** A copy of the driver license for the property owner and responsible party.

## GENERAL STANDARDS CHECKLIST

Please indicate that subject property currently conforms with the following requirements by checking the box next to each general standard:

- ADVERTISING.** All advertising for the *Short-Term Rental* -- including online or on a proprietary website, application, or other technology -- will include the *Short-Term Rental Permit Number* within the description or body of the advertisement for public reference.
- PARKING.** The parking on the subject property currently conforms to the requirements of *Table 5: Parking Requirement Schedule* of Article 06, *Parking and Loading*, of the Unified Development Code (UDC). In addition, I understand that all parking shall be on an improved surface (*i.e. gravel, pavers, asphalt, or concrete*) and no guest or occupant will park on an unimproved surface (*e.g. grass, vegetation, soil, etc.*).
- EVACUATION PLAN.** [ONLY APPLICABLE TO APARTMENTS AND CONDOMINIUMS THAT DO NOT HAVE DIRECT INGRESS/EGRESS TO THE EXTERIOR OF THE BUILDING FROM THE FRONT DOOR] An evacuation plan showing how to exit the building has been posted on the front door.
- TEMPORARY STRUCTURES.** There are no temporary structures (*i.e. recreational vehicles/campers, vehicles intended for occupancy, tents, canopies or shade structures that are not permitted by the City of Rockwall, or similar structures or vehicles*) being utilized as a *Short-Term Rental*.
- TRASH/RUBBISH/SOLID WASTE.** There are enough City approved containers (*i.e. a polycarts or approved garage cans*) to hold all trash/rubbish/solid waste produced on-site. I also understand that it will be a violation to have any trash/rubbish/solid waste -- *bagged or otherwise* -- placed on the ground.
- SIGNAGE.** No external signage shall be installed or constructed on the property indicating or advertising the property as a *Short-Term Rental*.
- FIRE EXTINGUISHER.** A standard five (5) pound fire extinguisher (*i.e. 2A:10B:C*) has been properly mounted within 75-feet of all portions of the *Short-Term Rental* on each floor.
- SMOKE AND CARBON MONOXIDE DETECTORS.** Operable smoke and carbon monoxide detectors have been installed in the *Short-Term Rental* in accordance with all applicable City of Rockwall codes.
- INGRESS/EGRESS.** All bedrooms in the *Short-Term Rental* have at least one (1) operable emergency point of ingress/egress for rescue and escape (*i.e. windows and/or doors*).
- SLEEPING ACCOMMODATIONS.** There is no overnight sleeping outdoors or outdoor sleeping spaces provided as part of the *Short-Term Rental*.
- TENANT NOTIFICATION.** The following information has been posted in a visible and obvious location inside the *Short-Term Rental*: [1] the property owner's and/or the *Responsible Party's* contact information and phone number; [2] pertinent information relating to the aforementioned standards (*i.e. the location of the required off-street parking; the schedule, location, and requirements regarding trash/rubbish/solid waste; information regarding the conduct of guests; and etc.*); [3] information to assist guests in the case of an emergency (*i.e. emergency and non-emergency telephone numbers for police, fire, and medical services*); and, [4] a notice that failure to conform to the requirements and codes of the City of Rockwall is a violation, and that an owner, occupant, or visitor can be cited for violations to these requirements.

## RESPONSIBLE PARTY'S CERTIFICATION

I hereby certify that I am the *Responsible Party* of the property identified in this application, and that my primary residence is located in Rockwall County. I further understand my responsibilities as the *Responsible Party* as stipulated by Chapter 13, *Rental Housing*, of the Municipal Code of Ordinances, and consent to have my information posted online. I further acknowledge that failure to comply with these requirements and attests will lead to the revocation of this *Short-Term Rental Permit*.

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 16 DAY OF August, 2024.

RESPONSIBLE PARTY'S SIGNATURE Scott Popescu

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

MY COMMISSION EXPIRES

## PROPERTY OWNER'S CERTIFICATION

I hereby certify that I am the property owner of the property identified in this application, and that all information provided on this application is true and correct. I also hereby certify that the property identified in this application is in compliance with all of the requirements of Chapter 13, *Rental Housing*, of the Municipal Code of Ordinances, and that it is my sole responsibility to ensure that the property continues to be in compliance with the rules, requirements, and regulations of the City of Rockwall. I further acknowledge that failure to comply with these requirements and attests will lead to the revocation of this *Short-Term Rental Permit*.

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 16 DAY OF August, 2024.

PROPERTY OWNER'S SIGNATURE Scott Popescu

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

MY COMMISSION EXPIRES

















**FARMERS**  
INSURANCE

A Policy From  
FOREMOST LLOYDS OF TEXAS

N RB 721530  
381-5012368551

TODD HENDERSON INSURANCE AGENCY INC  
FARMERS INSURANCE GROUP  
6400 CROSS TIMBERS RD  
FLOWER MOUND TX 75022-6201

42

LLC. BROOKHAVEN MEDIA  
2306 MIDWAY RD  
ARLINGTON TX 76011-2624

**THIS IS NOT A BILL**

COPY

Dear LLC. BROOKHAVEN MEDIA:

Your policy packet is enclosed. Please take a few minutes to read through the enclosed documents. This contract is your assurance of protection in case of an insured loss. Copies of your current policy forms are available upon your request. If you have any questions, please contact us at the address shown above or call us at (817) 567-8025 .

Thank you for choosing us for your insurance. We appreciate the opportunity to provide you coverage.

Sincerely,

TODD HENDERSON INSURANCE AGENCY INC  
FARMERS INSURANCE GROUP  
89-0038-695

**P.S. Did you know . . . Electronic payments are available!**

To sign up for electronic payments, please go to **foremostpayonline.com**. You may choose to have us automatically withdraw your premium payments electronically from your designated account as they come due, or go to **foremostpayonline.com** to see your bill and make a payment. As always, simply call our billing service at 1-800-532-4221 with questions about your bill.

**Need to report a claim?** The Claims Contact Center is available to take your call 24 hours a day, seven days a week at 1-800-527-3907, or you may report a claim online at **Foremost.com**.

COPY

—  
—

— —

The following disclosure is required by regulation of the U.S. Treasury Department.

**POLICYHOLDER DISCLOSURE  
NOTICE OF TERRORISM  
INSURANCE COVERAGE**

Coverage for acts of terrorism is included in your policy. You are hereby notified that the Terrorism Risk Insurance Act, as amended in 2019, defines an act of terrorism in Section 102(1) of the Act: The term "act of terrorism" means any act or acts that are certified by the Secretary of the Treasury - in consultation with the Secretary of Homeland Security, and the Attorney General of the United States - to be an act of terrorism; to be a violent act or an act that is dangerous to human life, property, or infrastructure; to have resulted in damage within the United States, or outside the United States in the case of certain air carriers or vessels or the premises of a United States mission; and to have been committed by an individual or individuals as part of an effort to coerce the civilian population of the United States or to influence the policy or affect the conduct of the United States Government by coercion. Under your coverage, any losses resulting from certified acts of terrorism may be partially reimbursed by the United States Government under a formula established by the Terrorism Risk Insurance Act, as amended. However, your policy may contain other exclusions which might affect your coverage, such as an exclusion for nuclear events. Under the formula, the United States Government generally reimburses 80% beginning on January 1, 2020, of covered terrorism losses exceeding the statutorily established deductible paid by the insurance company providing the coverage. The Terrorism Risk Insurance Act, as amended, contains a \$100 billion cap that limits U.S. Government reimbursement as well as insurers' liability for losses resulting from certified acts of terrorism when the amount of such losses exceeds \$100 billion in any one calendar year. If the aggregate insured losses for all insurers exceed \$100 billion, your coverage may be reduced.

The portion of your annual premium that is attributable to coverage for acts of terrorism is \$0.00, and does not include any charges for the portion of losses covered by the United States government under the Act.

© 2020 National Association of Insurance Commissioners

COPY



COPY

## Important Notice About Your Deductible(s)

We are required to provide you a notice when your policy contains a provision that may cause the exact dollar amount(s) of a deductible(s) to change.

Your policy does contain a provision which may indirectly cause the exact dollar amount(s) of your deductible(s) to change. The policy provision reads as follows:

**Your Duties to Maintain Policy Amounts of Insurance.** It is your responsibility to maintain adequate Amounts of Insurance for Coverage A - Dwelling, Coverage B - Other Structures, and Coverage C - Personal Property. To help you do that we may, but are not obligated to, adjust your policy Amounts of Insurance. If an adjustment is made, it will become effective on the renewal date of your policy and will be based upon data supplied to us by recognized agencies or organizations.

You will be notified in advance of the new Amounts of Insurance. Payment of your renewal premium is all that is necessary to indicate your acceptance of the new Amounts of Insurance.

If you want to change the new Amounts of Insurance you may do so by contacting your insurance representative.

Adjustments to your Dwelling Amount of Insurance may change the exact dollar amount of your deductible(s) as follows:

1. Your deductible is calculated by multiplying your Dwelling Amount of Insurance by the percentage deductible you selected, subject to a minimum deductible of \$1,000.
2. If your policy includes a separate Tropical Cyclone Deductible, this deductible will be 2% of the Dwelling Amount of Insurance shown on the Declarations Page, subject to a minimum of \$1,000.
3. If you purchase Earthquake coverage, the Earthquake Coverage endorsement specifies that each earthquake loss is subject to a deductible, which is the greater of 10% of the Amount of Insurance shown on the Declarations Page for the coverage or \$1,000. Earthquake deductibles are applied to the lesser of the loss for each coverage or the Amount of Insurance for each coverage.

An increase in your Dwelling Amount of Insurance may increase the exact amount of any of those deductibles because they could be assessed as a percentage of your Amount of Insurance. Your Deductibles can be found on your Declarations Page. An explanation of your deductible can be found on Page 20 of your policy. If included, your Tropical Cyclone Deductible is explained in Endorsement 10319. Your Earthquake Deductible is explained in either Endorsement 7311 or 7312 if you purchased Earthquake Coverage.

This summary is not a part of your policy, so please read your policy so you know what it says. Since the policy is our contract with you, if there's any difference between the policy and this summary, the policy language will take precedence. Our goal is to provide you with the coverage you want at a fair price. Thank you for your trust and confidence.

## Important Notice Regarding Flood Coverage

We are required to provide the following notification to you since your insurance policy does not provide coverage against loss caused by flooding.

Flood Insurance: You may also need to consider the purchase of flood insurance. Your policy does not include coverage for damage resulting from a flood even if hurricane winds and rain caused the flood to occur. Without separate flood insurance coverage, you may have uncovered losses caused by a flood. Please discuss the need to purchase flood insurance coverage with your insurance agent or insurance company, or visit [www.floodsmart.gov](http://www.floodsmart.gov).

741865 07/19

COPY



**FARMERS**  
INSURANCE

**RENEWAL  
DECLARATIONS PAGE  
FOREMOST LLOYDS OF TEXAS  
TEXAS DWELLING POLICY - FORM 3**

Underwritten by: **FOREMOST LLOYDS OF TEXAS**  
Administrative Office: P.O. Box 2450  
Grand Rapids, Michigan 49501

**POLICY NUMBER: 381-5012368551-02**

**RENEWAL OF: 381-5012368551-01**

**POLICY PERIOD EFFECTIVE DATE: 06/01/24 EXPIRATION DATE: 06/01/25 AT 12:01 A.M. STANDARD TIME  
AT THE LOCATION OF DESCRIBED PROPERTY**

**YOU AS NAMED INSURED/MAILING ADDRESS**

LLC. BROOKHAVEN MEDIA  
2306 MIDWAY RD  
ARLINGTON TX 76011-2624

**AGENT'S NAME, ADDRESS, AND PHONE NUMBER**

TODD HENDERSON INSURANCE AGENCY INC  
FARMERS INSURANCE GROUP  
6400 CROSS TIMBERS RD  
FLOWER MOUND TX 75022-6201

**AGENCY CODE:**  
890038695

**TELEPHONE:**  
(817) 567-8025

**LOCATION # 1**

**IMPORTANT RATING INFORMATION**

**LOCATION OF PROPERTY:** 610 CHRISTAN CT  
ROCKWALL TX 75087-3232

<b>CONSTRUCTION:</b> MASONRY VENEER	<b>TERRITORY:</b> N	<b>YR. BUILT:</b> 2008
<b>FAMILIES:</b> 1	<b>PROT. CLASS:</b> 2	<b>FORM:</b> TDP3
<b>OCCUPANCY:</b> VACATION & SHORT TER	<b>RESP. FIRE DEPT.:</b> ROCKWALL FS 1	<b>KEY RATE:</b>
<b>HYDRANT:</b> WITHIN 1,000 FEET	<b>COUNTY:</b> ROCKWALL	<b>CITY LIMIT:</b>
<b>FIRE DEPT.:</b> WITHIN 5 MILES		

**MORTGAGEE #1**

**LOAN NO.:** CC2023050233  
PLANET HOME LENDING LLC  
ISAOA / ATIMA  
PO BOX 5023  
TROY MI 48007-5023

**COVERAGES**

	LIMIT OF LIABILITY
COVERAGE A. DWELLING	\$ 506,224
OTHER STRUCTURES	\$ 50,622
COVERAGE B. PERSONAL PROPERTY	\$ 10,000
PERSONAL PROPERTY OFF PREMISES	\$ 1,000

**PERILS INSURED AGAINST**

	NORMAL	F.R.%	ACTUAL	ADD'L/RETURN PREMIUM	ANNUAL PREMIUM
DESCRIBED DWELLING - FIRE AND LIGHTNING	\$	\$			
			\$		2,011.00
SUDDEN AND ACCIDENTAL DAMAGE FROM SMOKE, WINDSTORM, HURRICANE, HAIL, EXPLOSION, AIRCRAFT AND VEHICLES, RIOT AND CIVIL COMMOTION			\$		4,032.00
ALL OTHER RISK OF PHYSICAL LOSS EXCEPT LOSSES EXCLUDED IN GENERAL EXCLUSIONS				\$	997.00

PERSONAL PROPERTY - FIRE AND LIGHTNING	NORMAL	F.R.%	ACTUAL		
	\$	\$			
			\$		30.00
SUDDEN AND ACCIDENTAL DAMAGE FROM SMOKE, WINDSTORM, HURRICANE, HAIL, EXPLOSION, AIRCRAFT AND VEHICLES, RIOT AND CIVIL COMMOTION			\$		23.00
COLLAPSE OF BUILDING, FALLING OBJECTS, FREEZING OF HOUSEHOLD APPLIANCES, VANDALISM AND MALICIOUS MISCHIEF.				\$	6.00

**ENDORSEMENT NUMBER AND TITLE ATTACHED TO POLICY**

	LIMIT OF LIABILITY	ADD'L/RETURN PREMIUM	ANNUAL PREMIUM
11309 08/23 AMEND END W/15YR REPL LIMIT ON ROOF			INCLUDED
11391 03/13 TEXAS DWELLING POLICY - FORM 3			INCLUDED
10325 03/21 WATER DAMAGE COVERAGE LIMIT	\$ 50,000		\$ 175.00
10116 09/00 TDP-009 RESIDENCE GLASS			\$ 15.00

**DEDUCTIBLES (SECTION I ONLY)**

	AMOUNT OF DEDUCTIBLE
DEDUCTIBLE - ALL OTHER	\$5,062

**DISCOUNTS/SURCHARGES THAT APPLY TO LOCATION # 1**

	ADD'L/RETURN PREMIUM	ANNUAL PREMIUM
CLAIMS FREE	\$	-86.00
MASONRY	\$	-428.00
MULTI-POLICY	\$	-428.00
MULTIPLE PROPERTIES	\$	-855.00
TENANT SCREENING	\$	-171.00

<b>TOTAL ANNUAL POLICY PREMIUM</b>	<b>\$ 5,150.00</b>
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**OTHER COVERAGES, LIMITS AND EXCLUSIONS APPLY - REFER TO YOUR POLICY**

Processed: April 2, 2024

COPY

COPY

## Important Notice About Your Deductible

We are required to provide you a notice when your policy contains a provision that may cause the exact dollar amount of a deductible to change.

Your policy does contain a provision which may cause the exact dollar amount of your deductible to change. The policy provision reads as follows:

**Your Duties to Maintain Policy Limits of Liability.** It is your responsibility to maintain adequate Limits of Liability on your Dwelling, Other Structures and Personal Property. To help you do that we may, but are not obligated to, adjust your policy Limits of Liability. If an adjustment is made, it will become effective on the renewal date of your policy and will be based upon data supplied to us by recognized agencies or organizations.

You will be notified in advance of the new Limits of Liability. Payment of your renewal premium is all that is necessary to indicate your acceptance of the new Limits of Liability.

If you want to change the new Limits of Liability, you may do so by contacting your insurance representative.

Changes to your Dwelling Limit of Liability may change the exact dollar amount of your deductible as follows:

1. Your deductible is calculated by multiplying your Dwelling Limit of Liability by the percentage deductible you selected, subject to a minimum deductible of \$1,000. When your Limit of Liability increases, the exact amount of your deductible will increase.
2. If your dwelling is located in one of the following counties, your policy may contain a Tropical Cyclone Deductible.

Bee	Goliad	Hidalgo	Liberty	Wharton
Brooks	Hardin	Jackson	Orange	
Fort Bend	Harris	Jim Wells	Victoria	

A change to your Dwelling Limit of Liability may affect the exact amount of your deductible because that deductible could be assessed as a percentage of your Limit of Liability. Your Deductible can be found on Page 2 of your Declarations Page. An explanation of your deductible can be found on Page 6 of your policy or in Endorsement 10318, if your home is located in one of the counties listed above.

3. If your Declarations Page indicates you purchased a TDP3 policy, then Endorsement 11309 includes a Vacancy Condition. During the policy term, if an insured dwelling is vacant or unoccupied for 30 consecutive days immediately before the loss, the Limit of Liability shown on the Declarations Page for Coverage A (Dwelling) and Coverage B (Personal Property) is reduced to 60% for loss caused by fire, lightning, vandalism or malicious mischief. Coverage may be provided by endorsement to this policy. When the terms of the Vacancy Condition are met, your deductible will also be reduced by 60%, subject to a minimum deductible of \$1,000.

This summary is not a part of your policy, so please read your policy so you know what it says. Since the policy is our contract with you, if there's any difference between the policy and this summary, the policy language will take precedence. Our goal is to provide you with the coverage you want at a fair price. Thank you for your business.



# AMENDATORY ENDORSEMENT WITH FIFTEEN YEAR OLD OR OLDER ROOF COVERING LIMIT

(For use with Texas Dwelling Policy Form 3)

11309 08/23

This endorsement changes your policy. Please read this document carefully and keep it with your policy.

## DEFINITIONS

The following definitions are added:

"Business" means any full or part-time trade, profession or occupation engaged in for economic gain.

But business does not mean the rental or holding for rental solely for residential purposes of any dwelling or other structure described on the Declarations Page.

"Remediation" means to treat, contain, remove, or dispose of mold, fungi or other microbes beyond that which is required to repair or replace the covered property physically damaged by water or steam.

"Remediation" includes any testing to detect, measure or evaluate mold, fungi, or other microbes and any decontamination of the dwelling on the described location or property.

"Roof covering" means the roofing material exposed to the weather and the underlayments applied for moisture protection. "Roof covering" includes but is not limited to vents, flashings, caps, turbines and piping.

"Vacant" means the absence of most of the furniture and other items needed for human occupancy as a dwelling.

"Unoccupied" means not being used as a dwelling. Any dwelling structure with no permanent resident is unoccupied even if it is fully furnished. While the permanent resident is temporarily absent from the dwelling, the dwelling will not be unoccupied.

## GENERAL EXCLUSIONS

Exclusion m. is changed to read:

### m. **Mold, Fungi, Bacteria or Other Microbes, or Wet or Dry Rot.**

- (1) We do not cover loss caused by or resulting from mold, fungi, bacteria or other microbes, or wet or dry rot, including:
  - (a) the cost for remediation for mold, fungi, bacteria or other microbes, or wet or dry rot; or
  - (b) any increase in expenses for Loss of Use and/or Debris Removal due to remediation for mold, fungi, bacteria or other microbes, or wet or dry rot.
- (2) The physical presence of mold, fungi, bacteria or other microbes, or wet or dry rot on that portion of covered property which must otherwise be repaired or replaced because of direct physical loss caused by any insured peril shall not result in the exclusion of such loss if it is otherwise covered under this policy.

The following exclusions are added:

- n. We do not cover loss caused by any business activity being conducted with or without your knowledge by any of you or any resident of the dwelling on the described location.
- o. We do not cover loss of or to any property otherwise insured by this policy if that loss is intentionally caused by any of you or performed at any of your direction.

**DEDUCTIBLE** is changed to read:

**DEDUCTIBLE.** No deductible will be applied to COVERAGE A (DWELLING) in the event of a total loss unless stated otherwise in this policy.

No deductible will be applied to fire or lightning Losses unless stated otherwise in this policy.

All other losses insured by Coverage A (DWELLING) or Coverage B (PERSONAL PROPERTY) will be subject to the greater of \$1,000 or the deductible shown on the DECLARATIONS PAGE, unless stated otherwise in your policy.

## CONDITIONS

**6. Loss Settlement** is changed to read:

### 6. **Loss Settlement.** Property losses are settled:

#### **Dwelling Total Loss Payment Method**

A total loss occurs when your dwelling is damaged beyond reasonable repair.

When a total loss occurs, your loss will be equal to the limit of liability shown on the DECLARATIONS PAGE for COVERAGE A (DWELLING).

No deductible will be applied to a total loss to your dwelling unless stated otherwise in your policy.

#### **All Other Loss Payment Method**

- a. When an insured peril causes a loss, your loss to roof covering fifteen years old or older, personal property, wall to wall carpeting, cloth awnings and fences, will be equal to the lowest of the following:
  - (1) the actual cash value at the time of loss determined with proper deduction for depreciation;
  - (2) the cost to repair or replace the damaged property with material of like kind and quality less deduction for depreciation; or
  - (3) the limit of liability shown on the Declarations Page.

b. When an insured peril causes a loss, your loss to dwelling and other structure(s) under Coverage A (Dwelling), except roof covering fifteen years old or older, wall to wall carpeting, cloth awnings and fences, will be equal to the lowest of the following:

- (1) If, at the time of loss, the Coverage A (DWELLING) limit of liability is 80% or more of the full replacement cost of the dwelling, we will pay the repair or replacement cost of the damaged building structure(s), without deduction for depreciation.
- (2) If, at the time of loss, the Coverage A (DWELLING) limit of liability is less than 80% of the full replacement cost of the dwelling, we will pay only a proportionate share of the full replacement cost of the damaged building structure(s). Our share is equal to:

$$\text{Replacement Cost of the Loss} \times \frac{\text{Coverage A (DWELLING) limit of liability}}{80\% \text{ of Replacement Cost of the Dwelling}}$$

- (3) If, at the time of loss, the actual cash value of the damaged building structure(s) is greater than the replacement cost determined under (1) or (2) above, we will pay the actual cash value up to the applicable limit of liability.

In determining the amount of insurance required to equal 80% of the full replacement cost of the dwelling, do not include the value of excavations, underground pipes, and wiring and foundations which are below the surface of the ground.

We will pay only the actual cash value of the damaged building structure(s) until repair or replacement is completed. Repair or replacement must be completed within 365 days after loss unless you request in writing that this time limit be extended for an additional 180 days. Upon completion of repairs or replacement, we will pay the additional amount claimed under replacement cost coverage, but our payment will not exceed the smallest of the following:

- (1) the limit of liability under this policy applicable to the damaged or destroyed building structure(s);
- (2) the cost to repair or replace that part of the building structure(s) damaged, with material of like kind and quality and for the same use and occupancy on the same premises; or
- (3) the amount actually and necessarily spent to repair or replace the damaged building structure(s).

If you provide no verification that your roof covering is less than fifteen years old, your roof covering loss will be determined using 6. **Loss Settlement** a. above.

9. **Appraisal** is deleted and replaced with:

9. **Appraisal.**

a. The following definitions shall apply under this **Appraisal** clause:

- (1) "**Claimed loss**" means your claim of direct physical loss or damage to property.
- (2) "**Component parts**" of property means each of the constituent parts of the property. By way of example only, if the **claimed loss** is a roof, the component parts of property for a roof might include: the trusses, rafters, decking, underlayment, sheathing, drip edge, shingles, tiles or other outer covering, jack pipes, vents or skylights, and all other individual items or parts.

Each of these individual items or parts would also be "**component parts**" of your dwelling.

- (3) "**Incurred property damage**" means the verifiable actual theft of or actual distinct and demonstrable physical injury to or destruction of property.

b. If you or we fail to agree on the actual cash value (including the replacement costs and depreciation/obsolescence) or the **incurred property damage** of your **claimed loss**, either you or we may make a written demand for appraisal. The appraisal shall be made strictly in accord with the terms of this appraisal clause. Neither you nor we may assign the right to demand appraisal, whether before or after loss or damage. Any assignment shall be void.

c. (1) Within 20 days of the receipt of a written demand for appraisal, you and we each shall:

- i. appoint a qualified individual person as an appraiser; and
- ii. notify the other in writing of the appraiser's name and contact information.

(2) In order for a person to be qualified to act as an appraiser, the person must be competent, independent, neutral and impartial. A person:

- i. who has performed, or who is employed by any entity which has performed any work, or a person who has provided any service for either you or us in relation to any **claimed loss** under this policy, whether or not such work or service has been or will be paid; or
- ii. who has performed or may perform, or who is employed by an entity which has performed or may perform repairs or replacement of your property;

shall not be qualified to serve as an appraiser.

(3) Upon acceptance of the appointment, each appraiser shall within 5 days disclose in writing to you and to us any known facts which a reasonable person may consider to affect independence, neutrality or impartiality of the appraiser, including without limitation:

- i. any financial or personal interest in the outcome of the appraisal; and
- ii. any current or previous relationship with you or us, or your or our counsel, other representative(s) or experts, or with the other appraiser.

d. You and we may provide the appraisers with estimates, expert opinions, appraisal forms or any information you or we believe to be relevant to the appraisal. Any such documents and information must also be provided to the other party. However, no civil discovery shall be conducted by either the appraisers, any umpire, or you or us during or for the preparation of the appraisal, and no court reporter shall be used. The rules of civil procedure and the rules of evidence shall not apply to the appraisal process, and no hearing shall be conducted by the appraisers at which either you or we provide any evidence pertaining to your **claimed loss**.

e. (1) The appraisers shall determine the **incurred property damage**, if any, to each of the **component parts** of that property for which you have **claimed loss**, and the actual cash value of the **incurred property damage**, as of date of the loss. In determining the actual cash value of the **incurred property damage**, the appraisers shall only use reasonable costs of materials of like kind and quality unless the policy expressly provides otherwise.

(2) The appraisal shall separately state and itemize the following for each individual **component part** of the **incurred property damage**:

- i. a description of each **component part** of the property;
- ii. a description of the distinct and demonstrable physical injury to or destruction of each **component part**, if any, without reference to what caused the damage;
- iii. a description of the reasonably necessary repairs or replacements for each **component part** of property;
- iv. the estimated costs of the reasonably necessary repairs or replacement(s) to each **component part** of property;

v. the estimated amount of proper depreciation and/or obsolescence to each **component part** of property; and

vi. the actual cash value of the **incurred property damage**.

Evidence of the reasonableness of the costs, and evidence that the materials are of like kind and quality, if the policy loss settlement requires like kind and quality settlement, shall also be included with the appraisal. As appropriate, the foregoing shall also apply to theft.

(3) The appraisers may consider and provide you and us with a separate statement of the estimated cost(s) for any repairs or replacements which may be required by building ordinances or laws, but the appraisers may not determine whether such amounts are covered under this insurance policy.

(4) The appraisers shall submit their written appraisal in accord with this part e., to both you and to us, and the amounts agreed upon by the appraisers will be the **incurred property damage** and the actual cash value (including the replacement costs and depreciation/obsolescence) of the **incurred property damage** to each **component part** of property for which you have **claimed loss**.

(5) The appraisers are not authorized to, and shall not decide the cause, or causes, of your **claimed loss** or any **incurred property damage**.

(6) The appraisers are not authorized to decide whether any **incurred property damage** is covered under this insurance policy.

f. (1) If the appraisers cannot agree on the **incurred property damage** or the actual cash value of the **incurred property damage**, you must notify us that you have selected an umpire within 10 days of receiving notice that an umpire is needed. Notice can be provided through your appraiser. If you do not select an umpire within the 10 day period, we will contact the firm below to select an umpire. Regardless of who makes the selection, we will then contact the firm below, pay any applicable administrative fee to engage the umpire, and provide the firm with contact information for both appraisers, the name of the insured, and the location of the property involved in the claim.

American Arbitration Association (AAA)  
Case Filing Services  
Attn: Foremost Texas Appraisal  
1101 Laurel Oak Road Ste 100  
Voorhees, New Jersey 08043  
Email: casefiling@adr.org (with subject matter  
as "Foremost Texas Appraisal")

- (2) Only if AAA advises you and us in writing that it cannot appoint an umpire may we then jointly request a judge of a district court in the judicial district where the **residence premises** is located to select an umpire. A judge of a district court does not include a commissioner or a judge of a county court at law, of a justice court, a municipal court, a probate court, or of a commissioner's court.
- (3) In order for a person to be qualified to act as an umpire under this appraisal clause, such person must be qualified and meet the conditions as required at part c.(2).
- (4) Upon the appointment of an umpire by AAA, or a district judge, the umpire shall within 5 days disclose in writing to you and to us the information required at part c.(3).
- (5) Within 20 days of a qualified umpire being appointed, each of the appraisers shall then submit to the umpire, and to both you and us, their appraisals. Their appraisals shall contain all of the information required in part e. above, and shall identify each specific matter upon which they disagree and explain in detail why they disagree. Both appraisers and the umpire shall then together meet and confer. The umpire shall then prepare an appraisal. A written appraisal in conformance with and setting forth all the information required in part e. above, agreed upon and signed by the umpire and either one of the two appraisers will determine the **incurred property damage** and the actual cash value of the **incurred property damage** of your **claimed loss**.
- (6) If a vacancy should occur regarding the umpire, the vacancy shall be filled in accord with the foregoing process by which the vacating umpire was appointed. Any appointed umpire is subject to (3) and (4) of this part f.
- g. Each party will pay the costs of the appraiser it chooses. The costs of the umpire and all other expenses of the appraisal will be shared and paid equally by you and us. If AAA appoints the umpire, we will pay AAA's costs.
- h. The appraisal shall not:
  - (1) determine whether your **claimed loss** or any **incurred property damage**, or any part thereof, is covered under this insurance policy;

- (2) determine the cause or causes of the **claimed loss** or any **incurred property damage**;
- (3) make any factual finding which directly or indirectly determines whether your **claimed loss** or **incurred property damage**, or any part thereof, is covered under this insurance policy.
- (4) interpret this insurance policy;
- (5) award or determine any interest or penalties;
- (6) award any amount for matching property which has not sustained **incurred property damage** with property that has sustained **incurred property damage**;
- (7) determine loss settlement under a loss settlement provision of this policy; or
- (8) be considered to be adjustment of your **claimed loss**.
- i. Any demand for appraisal must be made within the contractual suit limitations period stated in this policy. After that time neither you nor we may demand an appraisal.
- j. If you or we timely demand an appraisal, then upon request made by either you or us for abatement of any suit for or involving the **claimed loss**, the suit shall be abated until after an appraisal award is made in accord with this appraisal clause.
- k. Even after an appraisal award, we retain the right to deny any **claimed loss** or **incurred property damage**, or any part thereof.

**17. Vacancy** is changed to read:

**Vacancy.** During the policy term, if an insured dwelling is vacant or unoccupied for 30 consecutive days immediately before the loss, the limit of liability shown on the Declarations Page for Coverage A (DWELLING) and Coverage B (PERSONAL PROPERTY) is reduced to 60% for loss caused by fire, lightning, vandalism or malicious mischief. Coverage may be provided by endorsement to this policy.

**22. Refusal to Renew.** is changed to read:

**22. Refusal to Renew.**

- a. We may not refuse to renew this policy because of claims for losses resulting from natural causes.
- b. We may not refuse to renew this policy solely because you are an elected official.
- c. We may refuse to renew this policy if you have filed three or more claims under the policy in any three year period that do not result from natural causes.

If you have filed two claims in a period of less than three years, we may notify you in writing, that if you file a third claim during the three year period, we may refuse to renew this policy by providing you proper notice of our refusal to renew as provided in d. below. If we do not notify you after the second claim, we may not refuse to renew this policy because of losses. A claim does not include a claim that is filed but is not paid or payable under the policy.

- d. If we refuse to renew this policy, we must deliver to you, or mail to you at your mailing address shown on the declarations page and any mortgagee named in the declarations page, written notice of refusal to renew no later than the 60th day before the date in which this policy expires. Proof of mailing will be sufficient proof of notice. If we fail to give you proper notice of our decision to refuse renewal, you may require us to renew the policy.

The following condition is added:

**Your Duties to Maintain Policy Limits of Liability.** It is your responsibility to maintain adequate limits of liability on your dwelling, other structures and personal property. But to help you do that we may, but are not obligated to, adjust your policy limits of liability. If an adjustment is made, it will become effective on the renewal date of your policy and will be based upon data supplied to us by recognized agencies or organizations.

You will be notified in advance of the new limits of liability. Payment of your renewal is all that is necessary to indicate your acceptance of the new limits of liability.

If you want to change the new limits of liability you may do so by contacting your insurance representative.

**Service of Process**

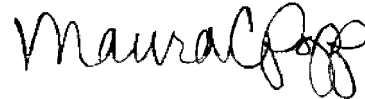
The address under Service of Process is changed to 15700 Long Vista Drive, Austin, Texas 78728.

The following provision is changed to read:

In witness whereof, the attorney-in-fact has executed this policy in Austin, Texas, binding the underwriters at Foremost Lloyds of Texas.



Michael J. Cok  
President



Maura C. Popp  
Secretary

COPY

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\_\_\_\_\_

## Privacy Policy

This notice describes our privacy policies and procedures in safeguarding information about customers and former customers that obtain financial products or services for personal, family or household purposes. **Please note that if state law is more protective of an individual's privacy than federal privacy law, we will protect information in accordance with state law while also meeting federal requirements.**

### Information We Collect

We may collect the following categories of personal information for the purposes identified below. Please note that the examples are not an exhaustive list and may fall into multiple categories. Categories and specific pieces of information collected may vary depending on the nature of your relationship with us.

Category	Examples
<b>Personal Identifiers</b>	Name, alias, address, social security number, date of birth, passport number, unique personal identifier, online identifier, IP address, e-mail address, account name, government issued identification number, phone number, signature
<b>Personal Characteristics</b>	Gender, demographic, medical and health, convictions, marital status, offspring, driving record, family member/other status, and other descriptions of your physical characteristics.
<b>Commercial Information</b>	Personal property, insurance policy number, medical information, or health insurance information, purchased products or services, considered products or services, purchasing or consuming histories or tendencies.
<b>Biometric Information</b>	Voice print, photo.
<b>Internet or Network activity</b>	Information regarding your interactions with websites, applications, and advertisements, browser type, electronic communications, IP address, cookies.
<b>Geolocation</b>	IP address, physical address, telephone number, state, municipality, location, devices, applications on mobile and computer devices.
<b>Audio, electronic, visual, olfactory</b>	Audio, electronic, photo, visual information, such as a call or video recording, voicemail messages.
<b>Professional information and Employment information/Education Information</b>	Job titles, work history, school attended, employment status, veteran, or military status.
<b>Education Information</b>	Job titles, work history, school attended, marital and family status, e-mail, telephone recordings.
<b>Inferences</b>	Preferences, behaviors, characteristics, trends, predispositions, attitudes, abilities, and aptitudes.
<b>Sensitive Personal Information</b>	Social security number, driver's license number, state ID card, account login, precise geo-location, bank account number, credit or debit card number, or any other financial information, trade union membership, your communications with us.

### Purposes for Collection of Personal Information

We collect and use your personal information to offer, provide and maintain insurance products and related services to you. We may use your personal information for one or more of the following purposes:

- To offer, provide, and maintain insurance products and related services to you;
- To authenticate and verify your identity; to maintain your preferences and to contact you;
- Security: authentication and verification of your identity, fraud identification and protection;
- Conduct analytics, research and development, improvement of our products and services;
- To provide a location-based product or service requested by you;
- To apply relevant discounts;

- To create profiles based on personal information collected and reflecting individual preferences to provide appropriate or relevant products and services and improve and analyze our products and services and provide relevant marketing;

We collect certain information ("nonpublic personal information") about you and the members of your household ("you") from the following sources:

- Information you provide on applications or other forms, such as your social security number, assets, income, and property information;
- Information about your transactions with us, our affiliates or others, such as your policy coverage, premiums, and payment history;
- Information from your visits to the websites we operate, use of our mobile sites, applications, use of our social media sites, and interaction with our online advertisements; and
- Information we receive from consumer reporting agencies or insurance support organizations, such as motor vehicle records, credit report information and insurance claims history; and
- If you obtain a life, long-term or disability product, information we receive from you, medical professionals who have provided care to you and insurance support organizations, regarding your health.

### **How Long Do You Retain My Information**

We retain your personal data for as long as reasonably necessary to fulfill the purpose for which it was collected or to comply with legal, regulatory, or internal procedures or obligations.

### **How We Protect Your Information**

Our customers are our most valued assets. Protecting your privacy is important to us. We restrict access to personal information to those individuals, such as our employees and agents, who provide you with our products and services. We require individuals with access to your information to protect it and keep it confidential. We maintain physical, electronic, and procedural safeguards that comply with applicable regulatory standards to guard your nonpublic personal information. We do not disclose any nonpublic personal information about you except as described in this notice or as otherwise required or permitted by applicable law.

### **Information We Disclose**

We do not disclose any nonpublic personal information about you as our customer or former customer, except as described in this notice. We may disclose the nonpublic personal information we collect about you, as described above to our affiliates, to companies that perform marketing services on our behalf or to other financial institutions with which we have joint marketing agreements, and to other third parties, all as permitted by law and for our everyday business purposes, such as to process your transactions and maintain your accounts and insurance policies.

Many employers, benefit plans or plan sponsors restrict the information that can be shared about their employees or members by companies that provide them with products or services. If you have a relationship with Foremost or one of its affiliates as a result of products or services provided through an employer, benefit plan or plan sponsor, we will follow the privacy restrictions of that organization.

We are permitted to disclose personal health information: (1) to process your transaction with us, for instance, to determine eligibility for coverage, to process claims or to prevent fraud; (2) with your written authorization; and (3) otherwise as permitted by law.

When you are no longer our customer, we continue to share your information as described in this notice.

### **Sharing Information with Affiliates**

We will not disclose nonpublic personal information, as described above in **Information We Collect**, except with affiliates of Foremost as permitted by law including:

- Financial service providers, such as insurance companies and reciprocals, investment companies, underwriters, brokers/dealers; and

- Non-financial service providers, such as data processors, billing companies, and vendors that provide marketing services for us.

We are permitted by law to share with our affiliates information about our transaction and experience information with you. We will not share with our affiliates information we receive from a credit reporting agency or insurance support organization, such as motor vehicle records, credit report information and claims history.

**Under the California Consumer Privacy Act ("CCPA"), California residents have the right to opt out of the sale of personal information to certain third parties.** Although we do not currently share personal information in a manner that would be considered a sale under CCPA, you may still submit a request to opt out by calling us at 1-855-327-6548 or submitting a request through our CCPA Web Form.

### **Modifications to our Privacy Policy**

We reserve the right to change our privacy practices in the future, which may include sharing nonpublic personal information about you with nonaffiliated third parties as permitted by law. Before we make any changes, we will provide you with a revised privacy notice and give you the opportunity to opt-out or, if applicable, to opt-in.

### **Website and Mobile Privacy Policy**

Our Enterprise Privacy Statement includes our website and mobile privacy policies which provides additional information about website and mobile application use. Please review those notices if you transmit personal information to us over the Internet through our websites and/or mobile applications.

### **Recipients of this Notice**

While any policyholder may request a copy of this notice, we are providing this notice to the named policyholder residing at the mailing address to which we send your policy information. If there is more than one policyholder on a policy, only the named policyholder will receive this notice. You may receive more than one copy of this notice if you have more than one policy with us. You also may receive notices from affiliates, other than those listed below.

### **Affiliates**

The following is a list of some but not all of our affiliates: Farmers Insurance Group of Companies including Farmers Insurance Exchange, Fire Insurance Exchange, Truck Insurance Exchange, and Mid-Century Insurance Company, Bristol West Insurance Group including Bristol West Casualty Insurance Company, Bristol West Insurance Company, Bristol West Preferred Insurance Company, Coast National Insurance Company, and Security National Insurance Company (Bristol West Specialty Insurance Company in TX), and 21st Century Insurance & Financial Services including 21st Century Indemnity Insurance Company, 21st Century Insurance & Financial Services, Inc., 21st Century Insurance Company, 21st Century National Insurance Company, 21st Century Premier Insurance Company, and 21st Century Security Insurance Company, Farmers Property and Casualty Insurance Company, Farmers Casualty Insurance Company, Farmers Group Property and Casualty Insurance Company, Economy Fire & Casualty Company, Economy Preferred Insurance Company, Farmers Lloyds Insurance Company of Texas, Economy Premier Assurance Company, Farmers Direct Property & Casualty Insurance Company, Toggle Insurance Company.

The above is a list of the affiliates on whose behalf this privacy notice is being provided. It is not a comprehensive list of all affiliates of the companies comprising the Farmers Insurance Group of Companies.

### **More Information about the Federal Laws?**

This notice is required by federal law. For more information, please contact us.

### **Any Questions?**

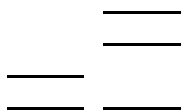
Please visit our website at [www.foremost.com](http://www.foremost.com).

Signed:           Foremost Insurance Company Grand Rapids, Michigan  
                      Foremost Signature Insurance Company  
                      Foremost Property and Casualty Insurance Company  
                      Foremost County Mutual Insurance Company  
                      Foremost Lloyds of Texas

The above is a list of the Foremost companies on whose behalf this notice is being sent.



COPY



A - 2 Car Garage

B - 5 car driveway

C - 2 car paver parking

610

A

B

C

N Lakeshore Dr

Christman Ct

Christman Ct

608

CITY OF ROCKWALL

ORDINANCE NO. 24-XX

SPECIFIC USE PERMIT NO. S-3XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE (UDC) [ORDINANCE NO. 20-02] AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) TO ALLOW A *NON-OWNER-OCCUPIED SHORT-TERM RENTAL* ON A 0.25-ACRE PARCEL OF LAND IDENTIFIED AS LOT 2, BLOCK I, NORTHSHORE, PHASE 2B ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DEPICTED AND DESCRIBED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

**WHEREAS**, the City has received a request from Scott Popescu of Brookhaven Media for the approval of a *Specific Use Permit (SUP)* for a *Non-Owner-Occupied Short-Term Rental* on a 0.25-acre parcel of land identified as Lot 2, Block I, Northshore, Phase 2B Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 10 (SF-10) District, addressed as 610 Christan Court, and being more specifically depicted and described in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

**WHEREAS**, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall should be amended as follows:

**NOW, THEREFORE, BE IT ORDAINED** by the City Council of the City of Rockwall, Texas;

**SECTION 1.** That the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) allowing a *Non-Owner-Occupied Short-Term Rental* as stipulated by Subsection 01.02, *Land Use Schedule*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC) [Ordinance No. 20-02] on the *Subject Property*; and,

**SECTION 2.** That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Subsection 02.03, *Conditional Land Use Standards*, of Article 04, *Permissible Uses*, and Subsection 03.01, *General Residential Standards*, and Subsection 03.07, *Single-Family 10 (SF-10) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [Ordinance No. 20-02]; and, Article 02, *Short-Term Rentals*, of Chapter 13, *Rental Housing*, of the *Municipal Code of Ordinances* -- as heretofore amended and as may be amended in the Z2024-039: SUP for a STR

future --, and with the following conditions:

## 2.1. OPERATIONAL CONDITIONS

The following conditions pertain to the operation of a *Non-Owner-Occupied Short-Term Rental* on the *Subject Property* and conformance to these conditions are required for continued operations:

- (1) The *Subject Property* shall conform to the information provided within the *Short-Term Rental Permit Application* depicted in *Exhibits 'B'* of this ordinance; and,
- (2) All unpermitted improvements on the *Subject Property* must be permitted or removed before the issuance of a *Short-Term Rental Permit*; and,
- (3) After the issuance of a *Short-Term Rental Permit and Registration* by the City of Rockwall, should the applicant allow this permit/registration to expire, lapse or be revoked by the City of Rockwall, this Specific Use Permit (SUP) shall automatically expire and be considered abandoned in accordance with Subsection 02.02, *Specific Use Permit (SUP)*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC).

## 2.2. COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require compliance to the following:

- (1) Upon obtaining a *Short-Term Rental Permit and Registration*, should the property owner/responsible party operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*].

**SECTION 3.** That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

**SECTION 4.** That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

**SECTION 5.** Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

**SECTION 6.** If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this

Z2024-039: SUP for a STR

at 610 Christan Court

Ordinance No. 24-XX; SUP # S-3XX

ordinance shall remain in full force and effect.

**SECTION 7.** That this ordinance shall take effect immediately from and after its passage.

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,  
THIS THE 7<sup>TH</sup> DAY OF OCTOBER, 2024.**

\_\_\_\_\_  
Trace Johannesen, *Mayor*

**ATTEST:**

\_\_\_\_\_  
Kristy Teague, *City Secretary*

**APPROVED AS TO FORM:**

\_\_\_\_\_  
Frank J. Garza, *City Attorney*

1<sup>st</sup> Reading: September 16, 2024

2<sup>nd</sup> Reading: October 7, 2024

**Exhibit 'A'**  
**Zoning Exhibit**

Address: 610 Christan Court

Legal Description: Lot 2, Block I, Northshore Phase 2B Addition



**City of Rockwall**

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087  
(P): (972) 771-7745  
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



**Exhibit 'B':**  
**Short-Term Rental Permit Application**



**SHORT-TERM RENTAL PERMIT APPLICATION AND REGISTRATION**

City of Rockwall  
Neighborhood Improvement Services (NIS) Department  
385 S. Goliad Street  
Rockwall, Texas 75087

<b>STAFF USE ONLY</b>	
RECEIVED BY:	
DATE RECEIVED:	
STR PERMIT NO.	

**ACKNOWLEDGEMENTS BY PROPERTY OWNER [PLEASE INITIAL BY EACH STATEMENT]**

- SP I acknowledge that a *Short-Term Rental Permit* granted by the City of Rockwall does not supersede any property specific restrictions against *Short-Term Rentals* that may exist under law, agreement, lease, covenant, or deed restriction.
- SP I acknowledge that if three (3) violations/citations occur in any consecutive 12-month period, that my *Short-Term Rental Permit* will be revoked and that I will not be eligible to apply for a new *Short-Term Rental Permit* for 12-months from the date of revocation. In addition, I acknowledge that the City of Rockwall will have the right to inspect my property when a violation is reported or suspected.
- SP I acknowledge that a *Short-Term Rental Permit* and any non-conforming rights associated with a *Short-Term Rental Permit* are non-transferable to another property owner or operator, or address or location.
- SP I acknowledge that I am responsible for remitting all applicable state, county, and local hotel occupancy taxes in a timely manner pursuant to all applicable laws and the requirements of Chapter 13, *Rental Housing*, of the Municipal Code of Ordinance. I also acknowledge that failure to pay hotel occupancy tax will result in the revocation of my *Short-Term Rental Permit*.
- SP I acknowledge that a *Short-Term Rental Permit* is valid for a period of three (3) years, and -- as the owner of the subject property -- it is my responsibility to apply for a renewal 30-days prior to the expiration of my *Short-Term Rental Permit*. Should I fail to submit a renewal application in this time period, I will forfeit all non-conforming rights and be required to submit a new application that will be subject to all the current requirements stipulated by the Unified Development Code (UDC) and Chapter 13, *Rental Housing*, of the Municipal Code of Ordinances.

**REGISTRATION TYPE**

- New Registration |  Renewal of an Existing Registration  
Was this property being used as a short-term rental prior to April 1, 2024?  Yes |  No

**PROPERTY INFORMATION [PLEASE PRINT]**

Address	610 Christan Ct. Rockwall, TX 75087	Zoning	SF-10
Subdivision	North Shore PH 2B	Lot	2
General Location	Off Route 66	Block	1

**TYPE OF SHORT-TERM RENTAL**

Please indicate the type of short-term rental being permitted and registered:

- SHORT-TERM RENTAL (OWNER-OCCUPIED SINGLE-FAMILY HOME, TOWNHOME, OR DUPLEX)** A single-family home, townhome, or duplex -- or portion thereof -- in which the property owner or operator, as reflected in a valid lease agreement, is a resident (i.e. occupies the primary structure) and is present during the rental. This includes when a *Guest Quarters/Secondary Living Unit/Accessory Dwelling Unit* is detached from the primary structure and either the primary or secondary structure is rented, but the owner or operator resides on the property.
- SHORT-TERM RENTAL (NON-OWNER-OCCUPIED SINGLE-FAMILY HOME, TOWNHOME, OR DUPLEX)** A single-family home, townhome, or duplex -- or a portion thereof -- in which the property owner or operator does not occupy the dwelling unit during the rental, or that the owner or property owner does not occupy another dwelling unit -- or portion thereof -- on the same property (i.e. the property owner or operator is not on-site as an occupant during the rental of the property).
- SHORT-TERM RENTAL (APARTMENT OR CONDOMINIUM)** An apartment or condominium (or similar multi-family structure, excluding duplexes, but including triplexes or quadplexes, as defined in this Unified Development Code [UDC]) -- or a portion thereof -- in which the property owner or operator may or may not be an occupant of the dwelling unit during the rental.

**PROPERTY OWNER INFORMATION [PLEASE PRINT]**

Name	Brookhaven Media	Phone	469-993-8222
Mailing Address	4153 Panther Ridge Ln	City	Plano
		State	TX
Email	Scott@brookhavenmedia.com	Zip Code	75074

**RESPONSIBLE PARTY [PLEASE PRINT]**

Please note that a *Responsible Party* is required for all *Short-Term Rental Permit* applications. A *Responsible Party* is a local representative that resides in Rockwall County and who is available at all time the rental is in use. The *Responsible Party* must be available within one (1) hour of contact and must be authorized to make decisions regarding the property and its occupants.

- Same as Property Owner

Name	Scott Popescu	Phone	469-993-8222
Mailing Address	4153 Panther Ridge Ln	City	Plano
		State	TX
Email	scott@brookhavenmedia.com	Zip Code	75074

SHORT-TERM RENTAL APPLICATION AND REGISTRATION • CITY OF ROCKWALL • 385 SOUTH GOLIAD STREET • ROCKWALL, TX 75087 • [P] (972) 771-7709

**Exhibit 'B'**  
**Short-Term Rental Permit Application**



**SHORT-TERM RENTAL PERMIT APPLICATION AND REGISTRATION**

City of Rockwall  
Neighborhood Improvement Services (NIS) Department  
385 S. Goliad Street  
Rockwall, Texas 75087

**REQUIREMENTS CHECKLIST**

Please indicate that the following required items have been provided with this application by checking the box next to each required item:

- REGISTRATION FEE** A \$500.00 application fee payable to the City of Rockwall.
- SITE PLAN** A site plan showing the location of the *Short-Term Rental* and the parking areas provided for the *Short-Term Rental*.
- PICTURES** Pictures of the subject property showing the rear, front, and side yards of the subject property. In addition, pictures of all structures -- *one (1) per each façade of a structure* -- and any on-site amenities.
- COMMERCIAL INSURANCE** Each *Short-Term Rental* shall be required to have and provide proof of general commercial insurance (or an equivalent) coverage of a minimum of \$500,000.00 per occurrence coverage and an aggregate of \$1,000,000.00.
- DRIVER LICENSE** A copy of the driver license for the property owner and responsible party.

**GENERAL STANDARDS CHECKLIST**

Please indicate that subject property currently conforms with the following requirements by checking the box next to each general standard:

- ADVERTISING** All advertising for the *Short-Term Rental* -- including online or on a proprietary website, application, or other technology -- will include the *Short-Term Rental Permit Number* within the description or body of the advertisement for public reference.
- PARKING** The parking on the subject property currently conforms to the requirements of *Table 5: Parking Requirement Schedule* of Article 06, *Parking and Loading*, of the Unified Development Code (UDC). In addition, I understand that all parking shall be on an improved surface (i.e. gravel, pavers, asphalt, or concrete) and no guest or occupant will park on an unimproved surface (e.g. grass, vegetation, soil, etc.).
- EVACUATION PLAN** [ONLY APPLICABLE TO APARTMENTS AND CONDOMINIUMS THAT DO NOT HAVE DIRECT INGRESS/EGRESS TO THE EXTERIOR OF THE BUILDING FROM THE FRONT DOOR] An evacuation plan showing how to exit the building has been posted on the front door.
- TEMPORARY STRUCTURES** There are no temporary structures (i.e. recreational vehicles/campers, vehicles intended for occupancy, tents, canopies or shade structures that are not permitted by the City of Rockwall, or similar structures or vehicles) being utilized as a *Short-Term Rental*.
- TRASH/RUBBISH/SOLID WASTE** There are enough City approved containers (i.e. a polycarts or approved garage cans) to hold all trash/rubbish/solid waste produced on-site. I also understand that it will be a violation to have any trash/rubbish/solid waste -- bagged or otherwise -- placed on the ground.
- SIGNAGE** No external signage shall be installed or constructed on the property indicating or advertising the property as a *Short-Term Rental*.
- FIRE EXTINGUISHER** A standard five (5) pound fire extinguisher (i.e. 2A:10B:C) has been properly mounted within 75-feet of all portions of the *Short-Term Rental* on each floor.
- SMOKE AND CARBON MONOXIDE DETECTORS** Operable smoke and carbon monoxide detectors have been installed in the *Short-Term Rental* in accordance with all applicable City of Rockwall codes.
- INGRESS/EGRESS** All bedrooms in the *Short-Term Rental* have at least one (1) operable emergency point of ingress/egress for rescue and escape (i.e. windows and/or doors).
- SLEEPING ACCOMMODATIONS** There is no overnight sleeping outdoors or outdoor sleeping spaces provided as part of the *Short-Term Rental*.
- TENANT NOTIFICATION** The following information has been posted in a visible and obvious location inside the *Short-Term Rental*: [1] the property owner's and/or the Responsible Party's contact information and phone number; [2] pertinent information relating to the aforementioned standards (i.e. the location of the required off-street parking, the schedule, location, and requirements regarding trash/rubbish/solid waste; information regarding the conduct of guests; and etc.); [3] information to assist guests in the case of an emergency (i.e. emergency and non-emergency telephone numbers for police, fire, and medical services); and, [4] a notice that failure to conform to the requirements and codes of the City of Rockwall is a violation, and that an owner, occupant, or visitor can be cited for violations to these requirements.

**RESPONSIBLE PARTY'S CERTIFICATION**

I hereby certify that I am the *Responsible Party* of the property identified in this application, and that my primary residence is located in Rockwall County. I further understand my responsibilities as the *Responsible Party* as stipulated by Chapter 13, *Rental Housing*, of the Municipal Code of Ordinances, and consent to have my information posted online. I further acknowledge that failure to comply with these requirements and attests will lead to the revocation of this *Short-Term Rental Permit*.

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 16 DAY OF August, 2024

RESPONSIBLE PARTY'S SIGNATURE *Scott Popescu*

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

MY COMMISSION EXPIRES

**PROPERTY OWNER'S CERTIFICATION**

I hereby certify that I am the property owner of the property identified in this application, and that all information provided on this application is true and correct. I also hereby certify that the property identified in this application is in compliance with all of the requirements of Chapter 13, *Rental Housing*, of the Municipal Code of Ordinances, and that it is my sole responsibility to ensure that the property continues to be in compliance with the rules, requirements, and regulations of the City of Rockwall. I further acknowledge that failure to comply with these requirements and attests will lead to the revocation of this *Short-Term Rental Permit*.

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 16 DAY OF August, 2024

PROPERTY OWNER'S SIGNATURE *Scott Popescu*

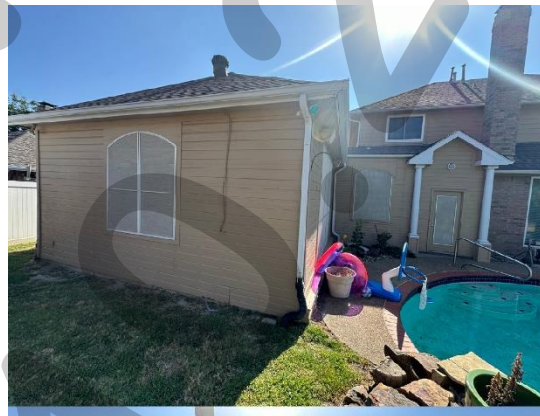
NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

MY COMMISSION EXPIRES

**SHORT-TERM RENTAL APPLICATION AND REGISTRATION • CITY OF ROCKWALL • 385 SOUTH GOLIAD STREET • ROCKWALL, TX 75087 • [P] (972) 771-7709**



**Exhibit 'C':**  
*Short-Term Rental Photographs*





# CITY OF ROCKWALL

## PLANNING AND ZONING COMMISSION CASE MEMO

### PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

---

**TO:** Planning and Zoning Commission  
**DATE:** September 10, 2024  
**APPLICANT:** Carol A. Byrd  
**CASE NUMBER:** Z2024-040; *Specific Use Permit (SUP) for a Residential Infill at 403 E. Kaufman Street*

---

### **SUMMARY**

Hold a public hearing to discuss and consider a request by Carol A. Byrd for the approval of a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* on a 0.2850-acre parcel of land identified as Lot 5B, Block 5, Griffith Addition, City of Rockwall, Rockwall County, Texas, zoned Single Family 7 (SF-7) District, situated within the Old Town Rockwall (OTR) Historic District, addressed as 403 E. Kaufman Street, and take any action necessary.

### **BACKGROUND**

The subject property was annexed prior to 1911 based on the April 1911 Sanborn Maps. According to the City's *Historic Zoning Maps*, the subject property was zoned Single-Family 3 (SF-3) District as of January 3, 1972. At some point between January 3, 1972 and May 16, 1983, the subject property was rezoned from a Single-Family 3 (SF-3) District to Single-Family 7 (SF-7) District. The property has remained zoned Single Family (SF-7) District since this date. On July 18, 2024, the Historic Preservation Advisory Board (HPAB) approved a Certificate of Appropriateness (COA) [*i.e. Case No H2024-011*] to allow the demolition of all structures (*i.e. the existing single-family home and three [3] accessory buildings*) on the subject property. Based on this action, the applicant has applied for and received a residential building permit [*i.e. Case No. RES2024-3767*] allowing the demolition of the existing single-family home and the accessory structures. Currently, the applicant is awaiting the final inspection of the demolition, and the property is vacant. On August 15, 2024, the Historic Preservation Advisory Board (HPAB) approved a Certificate of Appropriateness (COA) [*i.e. Case No H2024-015*] to allow the construction of a new single-family home on the subject property.

### **PURPOSE**

The applicant -- *Carol A Byrd* -- is requesting the approval of a Specific Use Permit (SUP) for the purpose of constructing a single-family home on the subject property in accordance with Subsection 02.03(B)(11), *Residential Infill in or Adjacent to an Established Subdivision*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC).

### **ADJACENT LAND USES AND ACCESS**

The subject property is addressed as 403 E. Kaufman Street. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property is *Lofland Park*, which is a 1.377-acre public park owned by the City of Rockwall. Beyond this is are two (2) parcels of land (*i.e. 308 & 310 Williams Street*) developed with single-family homes and zoned Single-Family 7 (SF-7) District. North of this is Williams Street, which is identified as a *Minor Collector* on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

South: Directly south of the subject is E. Kaufman Street, which is identified as a R2U (*i.e. residential, two [2] lane, undivided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is a 0.5740-acre parcel of land (*i.e. 406 E. Kaufman Street*) developed with a commercial business (*i.e. AT&T*) zoned General Retail (GR) District, and a 0.3444-acre parcel of land (*i.e. 401 E. Rusk Street*) developed with a single-family home zoned Single-Family 7 (SF-7) District. South of this is E. Rusk

Street, which is identified as an A4D (*i.e. arterial, four [4] lane, divided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

East: Directly east of the subject property is one (1) vacant parcel of land (*i.e. 405 E. Kaufman Street*) and seven (7) parcels of land (*i.e. 501, 503, 505, 601, 605 E. Kaufman Street and 201, 203 N. Clark Street*) developed with single-family homes. All of these parcels are zoned Single-Family 7 (SF-7) District. Beyond this is N. Clark Street, which is identified as a *Minor Collector* on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

West: Directly west of the subject property are three (3) parcels of land (*i.e. 305, 307, 401 E. Kaufman Street*) developed with single-family homes zoned Downtown (DT) District. West of this are two (2) parcels of land (*i.e. 202 & 204 N. Fannin Street*) developed with commercial businesses (*i.e. Watersedge Counseling and T&T Color Supply*) zoned Downtown (DT) District. Beyond this is N. Fannin Street, which is identified as a *Minor Collector* on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

**CHARACTERISTICS OF THE REQUEST AND CONFORMANCE TO THE CITY'S CODES**

Article 13, *Definitions*, of the Unified Development Code (UDC) defines *Residential Infill in or Adjacent to an Established Subdivision* as “(t)he new development of a single-family home or duplex on an existing vacant or undeveloped parcel of land or the redevelopment of a developed parcel of land for a new single-family home or duplex within an established subdivision that is mostly or entirely built-out.” An *established subdivision* is further defined in Subsection 02.03(B) (11) of Article 04, *Permissible Uses*, of the UDC as “...a subdivision that consists of five (5) or more lots, that is 90.00% developed, and that has been in existence for more than ten (10) years.” In this case, the subject property is situated within the Griffith Subdivision, which is more than 90.00% or more developed, consists of 39 residential lots, and has been in existence for more than ten (10) years. The *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the UDC, requires a Specific Use Permit (SUP) for *Residential Infill in or Adjacent to an Established Subdivision* in all single-family zoning districts, the Two-Family (2F) District, the Downtown (DT) District, and the Residential-Office (RO) District. This property, being within an established subdivision, requires a Specific Use Permit (SUP).

In addition, Subsection 02.03(B)(11) of Article 04, *Permissible Uses*, of the UDC states that, “...the Planning and Zoning Commission and City Council shall consider the proposed size, location, and architecture of the home compared to the existing housing ... [and] (a)ll housing proposed under this section [*i.e. Residential Infill in or Adjacent to an Established Subdivision*] shall be constructed to be architecturally and visually similar or complimentary to the existing housing ...” The following is a summary of observations concerning the housing within close proximity of E. Kaufman Street compared to the house proposed by the applicant:

Housing Design and Characteristics	Existing Housing on E. Kaufman Street and in Close Proximity to the Subject Property	Proposed Housing
Building Height	One (1) Story	Two (2) Story
Building Orientation	Most homes are oriented toward E. Kaufman Street.	The front elevation of the home will face E. Kaufman Street.
Year Built	1910- 1995	N/A
Building SF on Property	1,403 SF – 3,100 SF	2,273 SF
Building Architecture	Single Family Homes, Three (3) Vacant Lots, and One (1) Commercial Business	Comparable Architecture to the surrounding Single-Family Homes
Building Setbacks:		
Front	20-Feet	74-Feet
Side	6- feet	15.925-Feet
Rear	10-Feet	60-Feet
Building Materials	Brick and Siding	Hardie Board Siding and Brick
Paint and Color	Blue, Green, White, Brown	Green
Roofs	Composite Shingles	Asphalt Shingle
Driveways/Garages	Driveways all front the same street the single-family home faces. Homes consist of front-facing garages or no garages.	The proposed home will not incorporate a garage.

The proposed home will be a two (2) story, 2,273 SF residence that will be clad in siding and brick. Based on the proposed building elevations, the home incorporates siding and trim, brick masonry, and various wood columns and railings along the front and rear porch, and a masonry chimney. When reviewing the adjacent properties, staff should note that the surrounding properties have been constructed with similar architectural styles. In addition, the Historic Preservation Advisory Board (HPAB) reviewed the architecture of the proposed home at their meeting on August 15, 2024. Based on the submitted elevations, the HPAB approved a motion to approve a Certificate of Appropriateness (COA) for the proposed home by a vote of 6-0, with one (1) vacant seat. This motion also constituted a recommendation for approval to the Planning and Zoning Commission and City Council.

For the purpose of comparing the proposed home to the existing single-family housing located adjacent to or in the vicinity of the subject property, staff has provided photos of the properties along E. Kaufman Street and Fannin Street and also provided the proposed building elevations in the attached packet. The approval of this request is a discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission and a finding that the proposed house will not have a negative impact on the existing subdivision.

## **NOTIFICATIONS**

On August 21, 2024, staff mailed 97 notices to property owners and occupants within 500-feet of the subject property. There are no Homeowners Associations (HOAs) located within 1,500-feet of the subject property participating in the Neighborhood Notification Program. Additionally, staff posted a sign on the subject property, and advertised the public hearings in the Rockwall Herald Banner as required by the Unified Development Code (UDC). At the time this report was drafted, staff had not received any notices back regarding the applicant's request.

## **CONDITIONS OF APPROVAL**

If the Planning and Zoning Commission chooses to recommend approval of the applicant's request for a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision*, then staff would propose the following conditions of approval:

- (1) The applicant shall be responsible for maintaining compliance with the operational conditions contained in the Specific Use Permit (SUP) ordinance and which are detailed as follows:
  - (a) Development of the *Subject Property* shall generally conform to the *Residential Plot Plan* as depicted in *Exhibit 'B'* of the draft ordinance.
  - (b) Construction of a single-family home on the *Subject Property* shall generally conform to the *Building Elevations* depicted in *Exhibit 'C'* of the draft ordinance; and,
  - (c) Once construction of the single-family home has been completed, inspected, and accepted by the City, the Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.
- (2) Any construction resulting from the approval of this Specific Use Permit (SUP) shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. \_\_\_\_\_

**NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.**

DIRECTOR OF PLANNING: \_\_\_\_\_

CITY ENGINEER: \_\_\_\_\_

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

### PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE)<sup>1</sup>
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE)<sup>1</sup>
- FINAL PLAT (\$300.00 + \$20.00 ACRE)<sup>1</sup>
- REPLAT (\$300.00 + \$20.00 ACRE)<sup>1</sup>
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

### SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE)<sup>1</sup>
- AMENDED SITE PLANELEVATIONS/LANDSCAPING PLAN (\$100.00)

### ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE)<sup>1</sup>
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE)<sup>1 & 2</sup>
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE)<sup>1</sup>

### OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00)<sup>2</sup>

#### NOTES:

<sup>1</sup> IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

<sup>2</sup> A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

## PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 403 E. Kautman Rockwall, Tx 75087

SUBDIVISION \_\_\_\_\_ LOT \_\_\_\_\_ BLOCK \_\_\_\_\_

GENERAL LOCATION \_\_\_\_\_

## ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING \_\_\_\_\_ CURRENT USE \_\_\_\_\_

PROPOSED ZONING \_\_\_\_\_ PROPOSED USE \_\_\_\_\_

ACREAGE \_\_\_\_\_ LOTS [CURRENT] \_\_\_\_\_ LOTS [PROPOSED] \_\_\_\_\_

**SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

## OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER Carol A. Byrd  APPLICANT same

CONTACT PERSON Carol A. Byrd CONTACT PERSON "

ADDRESS 707 Cullens ADDRESS "

CITY, STATE & ZIP Rockwall, Tx 75082 CITY, STATE & ZIP "

PHONE 214-912-7973 PHONE "

E-MAIL Carolannbyrd@gmail.com E-MAIL "

Carolannbyrd@gmail.com

## NOTARY VERIFICATION [REQUIRED]

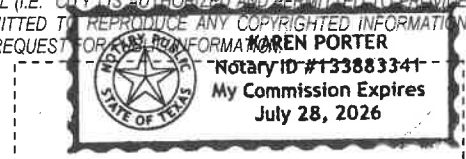
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Carol A. Byrd [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 250.00 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 16 DAY OF August, 2024 BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

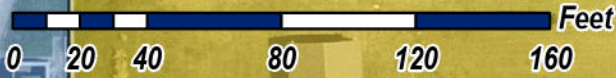
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 16 DAY OF August, 2024.

OWNER'S SIGNATURE Carol A. Byrd

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS Maren Porter



MY COMMISSION EXPIRES 07/28/2026



Z2024-040: Specific Use Permit (SUP) for Residential Infill at 403 E. Kaufman Street



Case Location Map =



# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087  
(P): (972) 771-7745  
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

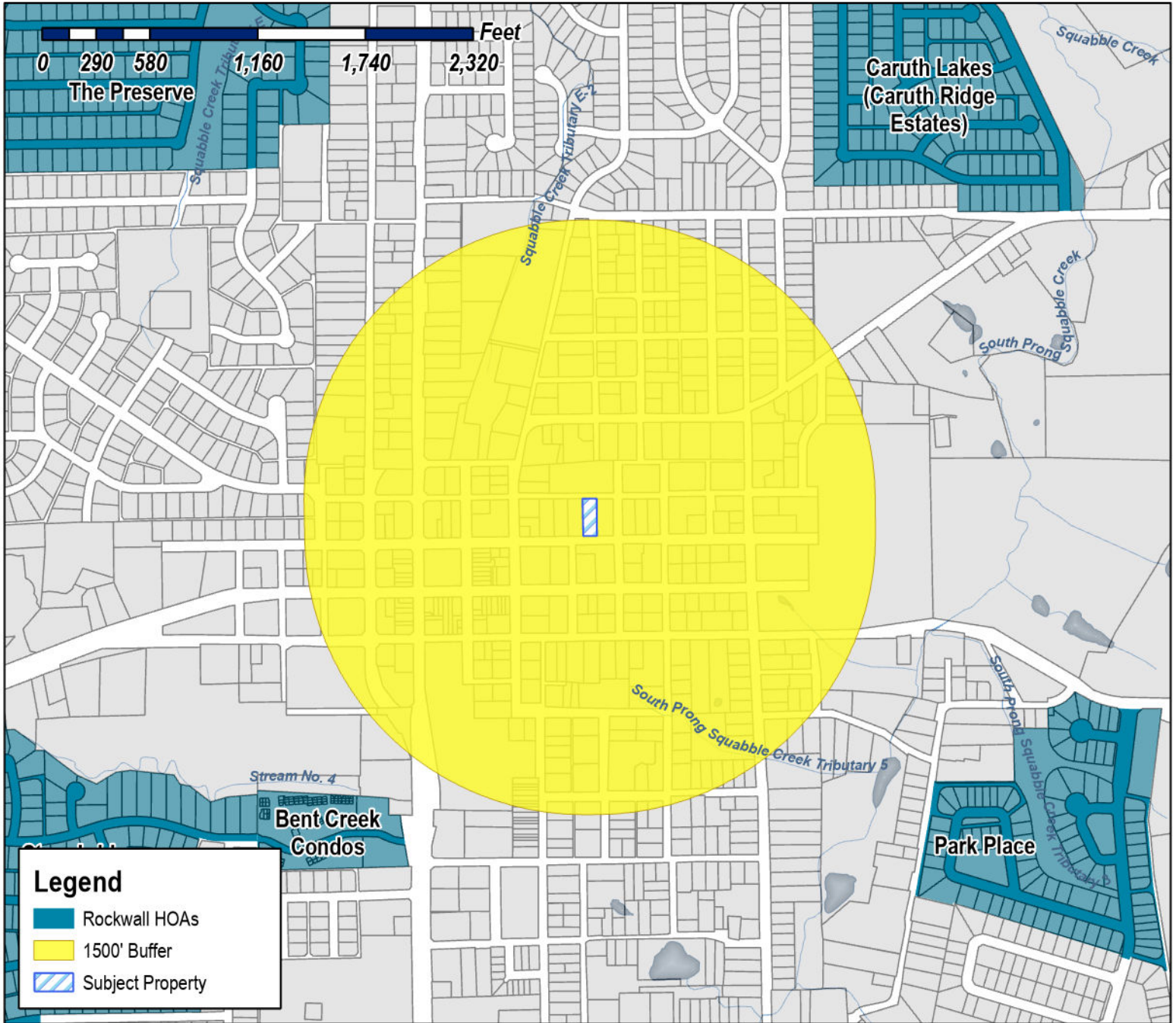




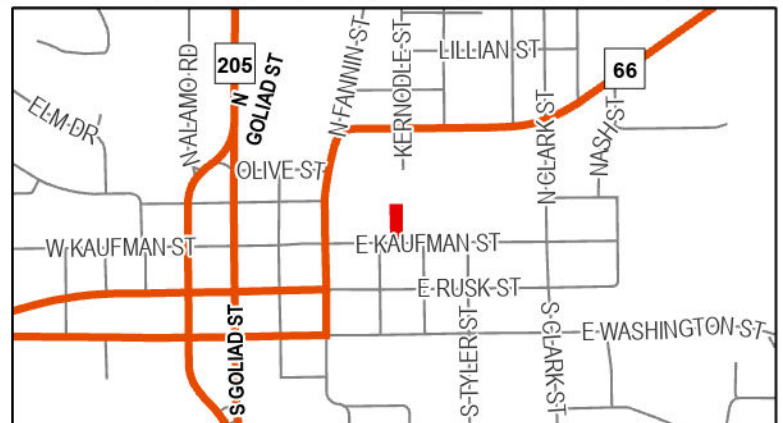
# City of Rockwall

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**Case Number:** Z2024-040  
**Case Name:** SUP for Residential Infill  
**Case Type:** Zoning  
**Zoning:** Single-Family 7 (SF-7) District  
**Case Address:** 403 E. Kaufman Street



**Date Saved:** 8/19/2024

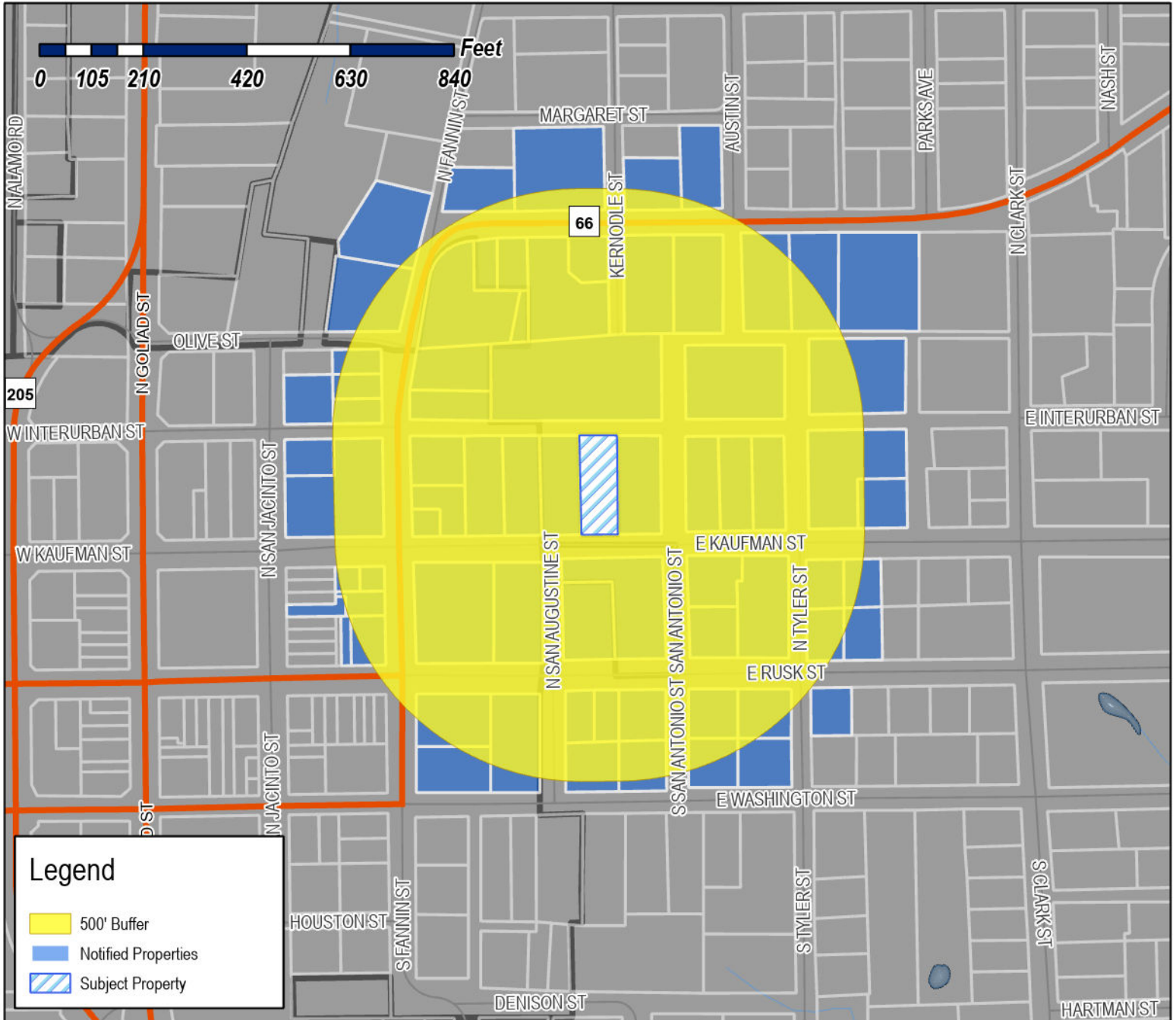
For Questions on this Case Call (972) 771-7745



# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
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**Zoning:** Single-Family 7 (SF-7) District  
**Case Address:** 403 E. Kaufman Street

**Date Saved:** 8/19/2024

For Questions on this Case Call: (972) 771-7745





RESIDENT  
101 N FANNIN ST  
ROCKWALL, TX 75087

RESIDENT  
101 S FANNIN ST  
ROCKWALL, TX 75087

HIS COVENANT CHILDREN INC  
102 N FANNIN ST  
ROCKWALL, TX 75087

QUINTON BILLY & AUTUMN  
102 N TYLER ST  
ROCKWALL, TX 75087

RESIDENT  
103 N FANNIN ST  
ROCKWALL, TX 75087

RESIDENT  
105 N FANNIN ST  
ROCKWALL, TX 75087

SKY 101 S FANNIN SERIES LLC  
106 E RUSK SUITE 200  
ROCKWALL, TX 75087

KUPPER LEROY J ET UX  
108 ELM CREST DR  
ROCKWALL, TX 75087

RESIDENT  
110 N SAN JACINTO  
ROCKWALL, TX 75087

HARPER LYDIA  
1200 CLEVELAND STREET APT 327  
DENTON, TX 76201

RAC OF ROCKWALL LLC  
1220 CRESTCOVE  
ROCKWALL, TX 75087

MORGAN MARY FRANCES COLEY  
180 SAN ANTONIO STREET  
ROCKWALL, TX 75087

WIMPEE JOE AND  
BEAU WIMPEE  
1800 DALTON RD  
ROCKWALL, TX 75087

COMMUNITY BANK  
201 E KAUFMAN ST  
ROCKWALL, TX 75087

RESIDENT  
202 N FANNIN ST  
ROCKWALL, TX 75087

LAZY DALE PARTNERS LP  
202 NORTH SAN JACINTO  
ROCKWALL, TX 75087

RESIDENT  
204 E KAUFMAN  
ROCKWALL, TX 75087

RESIDENT  
204 N FANNIN ST  
ROCKWALL, TX 75087

RESIDENT  
206 N FANNIN ST  
ROCKWALL, TX 75087

RESIDENT  
213 E RUSK  
ROCKWALL, TX 75087

WELLS LEE E & LYNDA S  
2146 HARRELL STREET  
GREENVILLE, TX 75402

BALL JUSTIN  
2155 CLUBVIEW DR  
ROCKWALL, TX 75087

HILLTOP ESCAPES INC  
2234 RANDAS WAY  
ROCKWALL, TX 75087

RESIDENT  
301 N FANNIN ST  
ROCKWALL, TX 75087

RESIDENT  
302 N FANNIN ST  
ROCKWALL, TX 75087

RESIDENT  
302 N SAN JACINTO  
ROCKWALL, TX 75087

RESIDENT  
303 WILLIAMS ST  
ROCKWALL, TX 75087

RESIDENT  
303 E RUSK  
ROCKWALL, TX 75087

RESIDENT  
304 WILLIAMS ST  
ROCKWALL, TX 75087

KRONTZ CHRISTIAN MICHAEL & JILLIAN ABIGAIL  
WRIGHT  
305 E KAUFMAN ST  
ROCKWALL, TX 75087

ERUDITE INCORPORATED  
305 E RUSK ST  
ROCKWALL, TX 75087

RESIDENT  
305 N FANNIN ST  
ROCKWALL, TX 75087

RESIDENT  
306 WILLIAMS ST  
ROCKWALL, TX 75087

TRINITY HARBOR CHURCH  
306 E RUSK ST  
ROCKWALL, TX 75087

RESIDENT  
306 N FANNIN ST  
ROCKWALL, TX 75087

SHIPMAN CLAYTON AUSTIN  
306 WILLIAMS ST  
ROCKWALL, TX 75087

WILLESS JAMES L  
307 E KAUFMAN ST  
ROCKWALL, TX 75087

RESIDENT  
307 N FANNIN ST  
ROCKWALL, TX 75087

RESIDENT  
308 FANNIN  
ROCKWALL, TX 75087

DEBORAH C WINES FAMILY TRUST  
DEBORAH C WINES - TRUSTEE  
308 WILLIAMS ST  
ROCKWALL, TX 75087

PATRICIA A MAY LIVING TRUST  
PATRICIA A MAY - TRUSTEES  
308 WILLIAMS ST  
ROCKWALL, TX 75087

ESTATE OF CHARLES W FALLS  
DAVID CHARLES FALLS, EXECUTOR  
309 ROOKERY CT  
MARCO ISLAND, FL 34145

RESIDENT  
310 WILLIAMS ST  
ROCKWALL, TX 75087

BONFANTE VITTORIO & ANGELA  
3111 ANNETTE CT  
GARLAND, TX 75044

CITY OF ROCKWALL  
385 S GOLIAD ST  
ROCKWALL, TX 75087

GODINEZ RAUL K AND  
MAGDALENA M GALVAN-DIAZ  
401 E KAUFMAN ST  
ROCKWALL, TX 75087

WELCH DAVID T & TERRY E  
401 E WASHINGTON STREET  
ROCKWALL, TX 75087

WEST CHRISTOPHER AND  
KATHERINE ROWE  
401 EAST RUSK  
ROCKWALL, TX 75087

RESIDENT  
401 N FANNIN ST  
ROCKWALL, TX 75087

RESIDENT  
402 E RUSK  
ROCKWALL, TX 75087

PEREIRA ASHLE RENEE  
402 WILLIAMS ST  
ROCKWALL, TX 75087

KNIGHT MOONEY VICKIE SUE  
& HERMAN KNIGHT  
403 E KAUFMAN ST  
ROCKWALL, TX 75087

RESIDENT  
404 E RUSK  
ROCKWALL, TX 75087

RESIDENT  
405 E KAUFMAN ST  
ROCKWALL, TX 75087

SALVADOR MARY PEARL  
405 E WASHINGTON  
ROCKWALL, TX 75087

NICHOLSON JACQUELYN SUE AND PAUL  
EDWARD  
405 N FANNIN STREET  
ROCKWALL, TX 75087

RESIDENT  
406 WILLIAMS ST  
ROCKWALL, TX 75087

RESIDENT  
406 E KAUFMAN  
ROCKWALL, TX 75087

RESIDENT  
406 E RUSK  
ROCKWALL, TX 75087

BOSS MORRIS E & DEBRA KAY  
408 RIDGEVIEW DR  
ROCKWALL, TX 75087

CM FANNIN I LP  
4514 TRAVIS ST STE 326  
DALLAS, TX 75205

RESIDENT  
501 AUSTIN ST  
ROCKWALL, TX 75087

RESIDENT  
501 KERNODLE  
ROCKWALL, TX 75087

BARTON SHANNON G  
501 E. KAUFMAN  
ROCKWALL, TX 75087

TAMEZ PEDRO ET EX  
502 E RUSK ST  
ROCKWALL, TX 75087

HERNANDEZ BLAS MEJIA AND ANA K  
502 KERNODLE STREET  
ROCKWALL, TX 75087

RYAN GARY S AND CONSTANCE E  
502 WILLIAMS ST  
ROCKWALL, TX 75087

RICHARDSON CATHERINE E AND TRENTON R  
503 E KAUFMAN  
ROCKWALL, TX 75087

ARCHER KERRY ANNE  
503 E RUSK ST  
ROCKWALL, TX 75087

RESIDENT  
503 E WASHINGTON  
ROCKWALL, TX 75087

SUMBLIN BEN III ESTATE OF  
TONI YEAGER, GUARDIAN  
504 PRESIDIO DR  
ROCKWALL, TX 75087

CROW CAROL RICHARDSON  
504 WILLIAMS  
ROCKWALL, TX 75087

RESIDENT  
505 E KAUFMAN  
ROCKWALL, TX 75087

DUTT JOHN RICHARD JR ETUX  
505 E WASHINGTON ST  
ROCKWALL, TX 75087

BIRKENBACK JOSSEPH M & OLGA M  
506 E RUSK ST  
ROCKWALL, TX 75087

WEBB RODNEY D AND FRAN W  
507 E RUSK ST  
ROCKWALL, TX 75087

FRASIER MICHAEL H AND HEATHER C  
510 WILLIAMS  
ROCKWALL, TX 75087

ALTA VISTA BNB, LLC  
519 E I30 PMB 422  
ROCKWALL, TX 75087

CAIN CHAD  
5705 ALLEN LN  
ROWLETT, TX 75088

RESIDENT  
601 E KAUFMAN ST  
ROCKWALL, TX 75087

RESIDENT  
601 E RUSK ST  
ROCKWALL, TX 75087

RESIDENT  
602 E RUSK  
ROCKWALL, TX 75087

RASHELL NICOLE & JAKE  
603 E RUSK ST  
ROCKWALL, TX 75087

GALVAN CARMAN  
604 E KAUFMAN ST  
ROCKWALL, TX 75087

HARPER VICKI DAWSON  
605 E KAUFMAN ST  
ROCKWALL, TX 75087

POINTER PRICE  
605 NAKOMA DR  
ROCKWALL, TX 75087

PEOPLES BILLY W JR  
614 COVEY TRL  
ROCKWALL, TX 75087

J-PEG PROPERTIES LLC  
704 N GOLIAD  
ROCKWALL, TX 75087

SHIPMAN CLAY  
742 RIDGE HOLLOW RD  
HEATH, TX 75032

BRUCE LIVING TRUST  
DANA GLENN BRUCE & JEANNE L BRUCE-  
TRUSTEES  
757 AVALON DR  
HEATH, TX 75032

KING PACIFIC INC  
8100 GREENSBORO DR  
PLANO, TX 75025

SOUTHWESTERN BELL TELEPHONE CO  
ATTN: PROPERTY TAX DEPT 1010 PINE, 9E-L-01  
ST. LOUIS, MO 63101

CAIN REVOCABLE FAMILY TRUST AND  
CREDIT SHELTER TRUST AND SURVIVORS TRUST  
DEWAYNE CAIN TRUSTEE 305 STONEBRIDGE DR  
ROCKWALL, TX 75087

ROCKWALL ISD TR  
FOR ROCKWALL TAXING ENTITIES  
, 0

ROCK N' ROLL REALTY LLC  
PO BOX 2571  
ROCKWALL, TX 75087

CHRIST FOR INDIA  
PO BOX 271086  
DALLAS, TX 75227

RUTH DOWER LIVING TRUST DATED JUNE 3,  
2014  
RUTH DOWER TRUSTEE  
PO BOX 871239  
MESQUITE, TX 75187

# PUBLIC NOTICE



CITY OF ROCKWALL  
PLANNING AND ZONING DEPARTMENT  
PHONE: (972) 771-7745  
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

**Z2024-040: SUP for a Residential Infill**

Hold a public hearing to discuss and consider a request by Carol A. Byrd for the approval of a *Specific Use Permit (SUP)* for Residential Infill in an Established Subdivision on a 0.2850-acre parcel of land identified as Lot 5B, Block 5, Griffith Addition, City of Rockwall, Rockwall County, Texas, zoned Single Family 7 (SF-7) District, situated within the Old Town Rockwall (OTR) Historic District, addressed as 403 E. Kaufman Street, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, September 10, 2024 at 6:00 PM, and the City Council will hold a public hearing on Monday, September 16, 2024 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

**Angelica Guevara**  
Rockwall Planning and Zoning Dept.  
385 S. Goliad Street  
Rockwall, TX 75087

You may also email your comments to the Planning Department at [planning@rockwall.com](mailto:planning@rockwall.com). If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, September 16, 2024 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

**Ryan Miller, AICP**  
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

PLEASE RETURN THE BELOW FORM

**Case No. Z2024-040: SUP for a Residential Infill**

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

Four horizontal grey bars for providing reasons for support or opposition.

Name:   
Address:

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

GENERAL NOTES AND SPECIFICATIONS

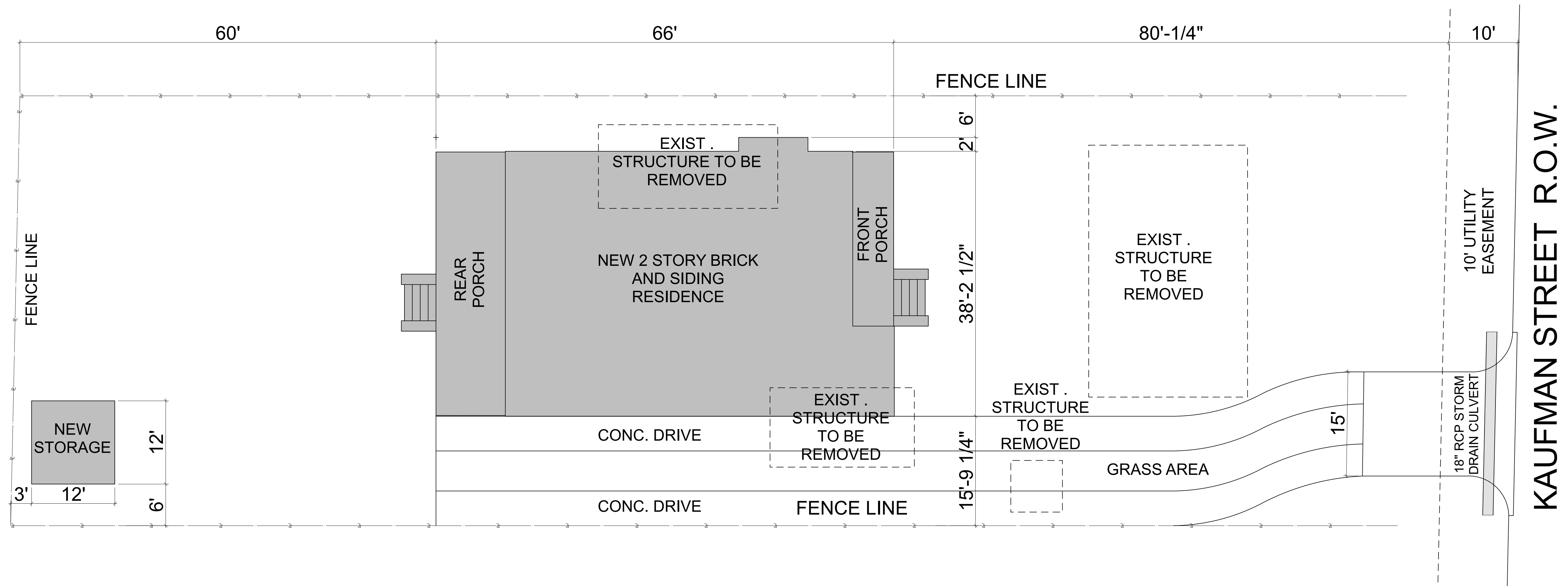
1. Comply with applicable building codes and related amendments.
2. Bring errors, omissions and inconsistencies in drawings or ambiguities between drawings and site construction conditions to attention of the Architect.
3. Notify Architect in event of discrepancies in contract documents.
4. Mechanical and landscape drawings by others.
5. Verify location of utilities serving site.
  
7. Location of HVAC units and water heaters, determined by others.
8. Vent clothes dryers to outside.
9. Run all roof vents behind front ridge.
10. Contractor to locate and coordinate placement of electrical fixtures and plumbing penetrations prior to placing ceiling joists.

FOR DIMENSIONING PURPOSES:

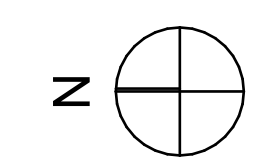
1. Do not scale drawings.
2. Verify dimensions, notify Architect of discrepancies.
3. All dimensions to face of stud or outside face of foundation unless otherwise indicated.

SQUARE FOOTAGES

A/C		NON A/C	
FIRST FLOOR	1,920 s.f.	FRONT PORCH	148 s.f.
SECOND FLOOR	353 s.f.	REAR PORCH	380 s.f.
TOTAL	2,273 s.f.		
		TOTAL NON A/C	528 s.f.



**01 SITE PLAN**  
SCALE: 1/8" = 1'-0"



UNAUTHORIZED USE OF THESE PLANS INCLUDING FORWARD ARRANGEMENT OF SPACES, DAY AND OTHER ASPECTS OF THE DESIGN WILL SUBJECT THE INFRINGER TO DAMAGES AND/OR JUDICIAL ACTION AS PROVIDED BY FEDERAL LAW.

New Construction For  
**403 E. KAUFMAN STREET**  
403 E. KAUFMAN STREET, ROCKWALL, TEXAS 75032

ROY KINDRED  
214.235.2646  
roy@rekarchitect.com  
rekarchitect.com

**R. E. KINDRED**  
ARCHITECT  
Plano, Texas 75024  
5851 Legacy Circle #600

REGISTERED ARCHITECT  
STATE OF TEXAS  
07-36-24

Date: 07-30-24

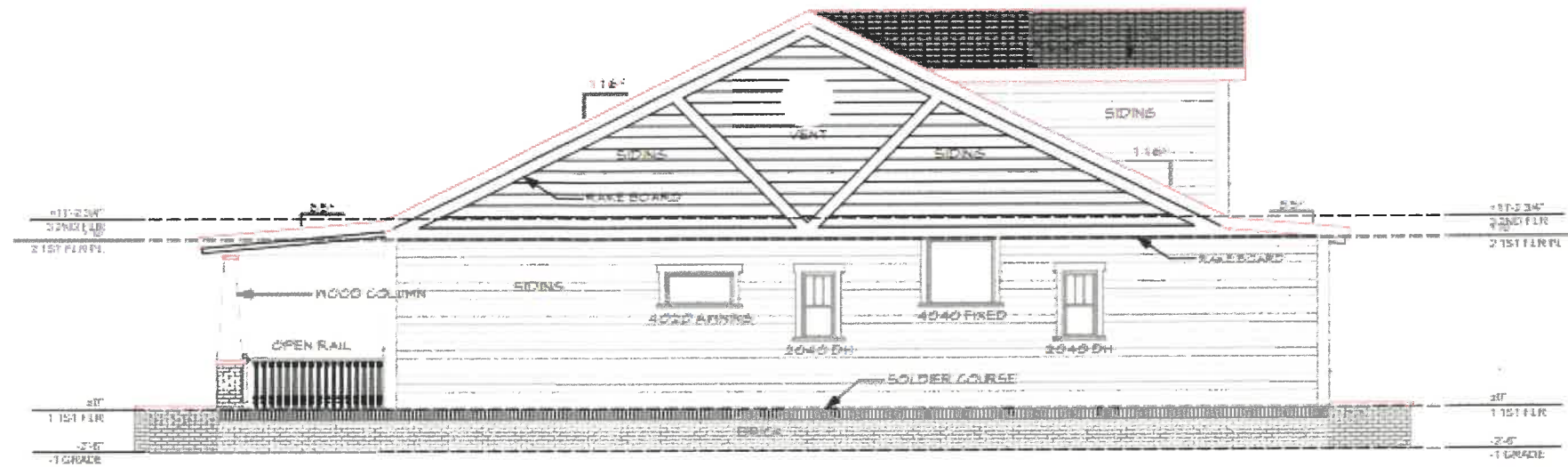
Job Address:  
403 E. Kaufman Street  
Rockwall, Texas 75032

Drawn by: R.E.K.

Checked by: R.E.K.

Sheet Number:  
**A 1.00**

Plotted On: 8/30/2024



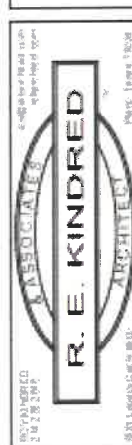
02 LEFT SIDE ELEVATION  
SCALE: 1/4" = 1'-0"



01 FRONT ELEVATION  
SCALE: 1/4" = 1'-0"

Sheet

New Construction For  
**403 E. KAUFMAN STREET**  
403 E. KAUFMAN STREET, ROCKWALL, TEXAS 75032



THIS DRAWING IS THE PROPERTY OF R. E. KINDRED ARCHITECT ASSOCIATES. NO PART OF THIS DRAWING IS TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF R. E. KINDRED ARCHITECT ASSOCIATES.

DATE: 07-23-21

DESIGNED BY: R. E. KINDRED ARCHITECT ASSOCIATES

DRAWN BY: R. E. K.

CHECKED BY: R. E. K.

SCALE: AS SHOWN

**A 1.02**

C:\Users\johnd\OneDrive\Documents\403 E. Kaufman Street\403 E. Kaufman Street.dwg







**LEGEND**

- |                                 |                                   |
|---------------------------------|-----------------------------------|
| ○ 1/2" ROD FOUND                | □ FENCE POST FOR CORNER           |
| ⊙ 1/2" ROD SET                  | CM CONTROLLING MONUMENT           |
| ○ 1-1/2" PIPE FOUND             | AC AIR CONDITIONER                |
| ⊕ 1" ROD FOUND                  | PE POOL EQUIPMENT                 |
| ⊕ 1" PIPE FOUND                 | ● POWER POLE                      |
| T TRANSFORMER PAD               | △ OVERHEAD ELECTRIC               |
| ■ COLUMN                        | — RJ — IRON FENCE                 |
| ▲ UNDERGROUND ELECTRIC          | — X — BARBED WIRE                 |
| — ONP — OVERHEAD ELECTRIC POWER | — OES — OVERHEAD ELECTRIC SERVICE |
| — CHAIN LINK                    | — WOOD FENCE 0.5' WIDE TYPICAL    |
| — DOUBLE SIDED WOOD FENCE       |                                   |
|                                 | □ EDGE OF ASPHALT                 |
|                                 | □ EDGE OF GRAVEL                  |
|                                 | □ COVERED AREA                    |
|                                 | □ BRICK                           |

**EXCEPTIONS:**

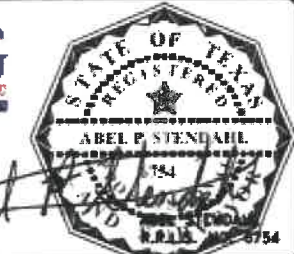
**NOTES:**  
 BEARINGS, EASEMENTS AND BUILDING LINES ARE BY RECORDED PLAT UNLESS OTHERWISE NOTED.  
**FLOOD NOTE:** According to the F.I.R.M. No. 48397C0040L, this property does lie in Zone X and DOES NOT lie within the 100 year flood zone.

This survey is made in conjunction with the information provided by Allegiance Title Company. Use of this survey by any other parties and/or for other purposes shall be at user's own risk and any loss resulting from other use shall not be the responsibility of the undersigned. This is to certify that I have on this date made a careful and accurate survey on the ground of the subject property. The plat hereon is a correct and accurate representation of the property lines and dimensions are as indicated; location and type of buildings are as shown; and EXCEPT AS SHOWN, there are no visible and apparent encroachments or protrusions on the ground.

Date: \_\_\_\_\_ Accepted by: \_\_\_\_\_  
 Purchaser \_\_\_\_\_  
 Purchaser \_\_\_\_\_

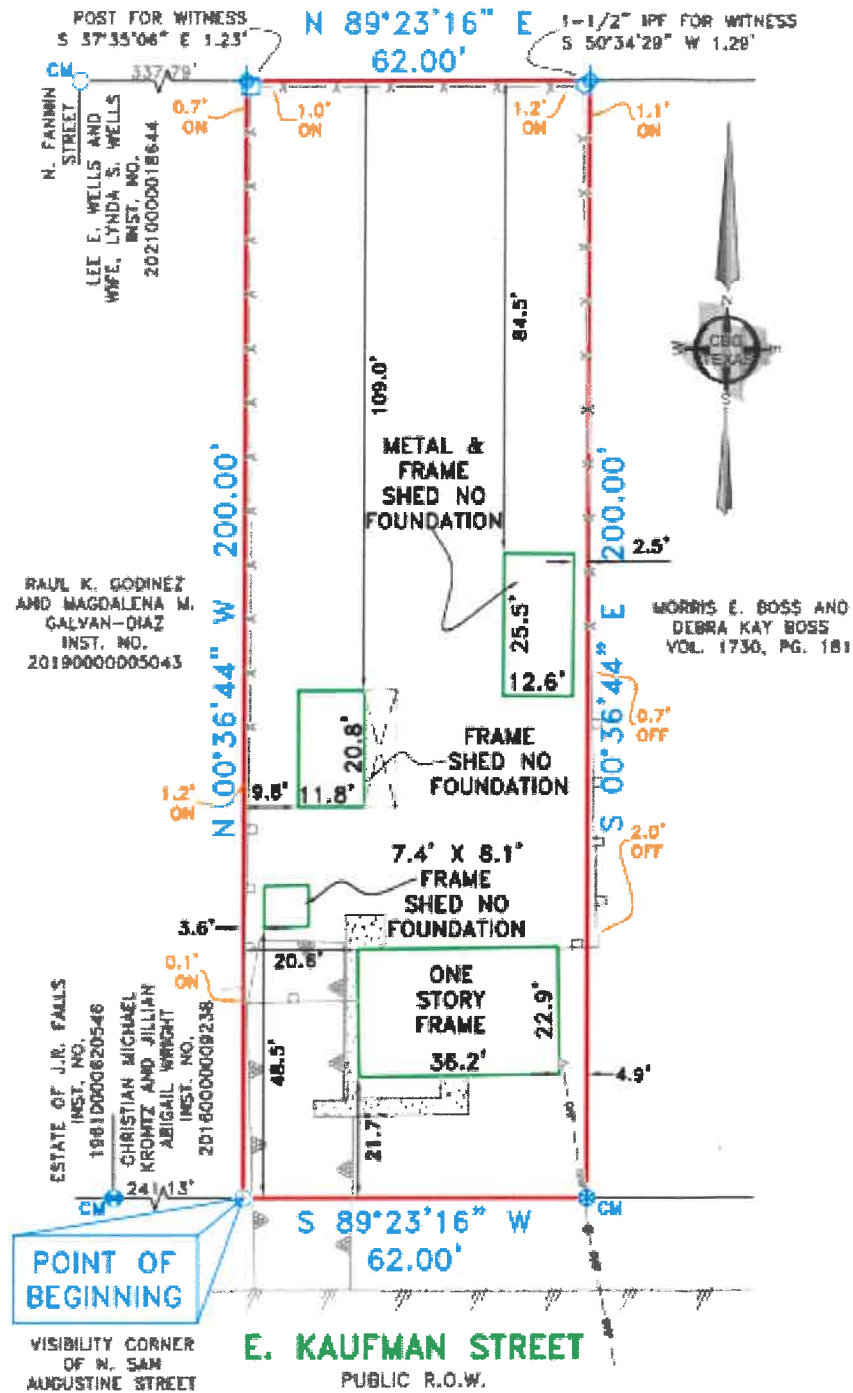
Drawn By: WRV  
 Scale: 1" = 30'  
 Date: 05/17/2024  
 GF NO.: ALG-1705-3017052400350-JJ  
 Job No. 2407462

**CBG SURVEYING TEXAS LLC**  
 419 Century Plaza Dr., Ste. 210  
 Houston, TX 77073  
 P 214.348.9485  
 F 214.348.2216  
 Firm No. 10194280  
 www.cbgtllc.com



**E. INTERURBAN STREET**

PUBLIC R.O.W.



**403 E. Kaufman Street**

Being a tract of land situated in the Benjamin F. Boydston Survey, Abstract No. 14, Rockwall County, Texas, some being a tract of land conveyed to Vickie Sue Knight-Mooney, by deed recorded in Volume 306, Page 180, Deed Records of Rockwall County, Texas, and being more particularly described by metes and bounds as follows:

**BEGINNING** at a 1/2 inch Iron rod found for corner, said corner being in the North line of East Kaufman Street (Public Right-of-Way), same being the Southeast corner of that tract of land conveyed to Raul K. Godinez and Magdalena M. Galvan-Diaz, by deed recorded in Instrument No. 2019000005043, Deed Records of Rockwall County, Texas, from which a 1 inch Iron rod found at the southern common corner of that tract of land conveyed to J.R. Falls, by deed recorded in Instrument No. 19610000620546, Deed Records of Rockwall County, Texas, and that tract of land conveyed to Christian Michael Kromtz and Jillian Abigail Wright, by deed recorded in Instrument No. 201600009238, Deed Records of Rockwall County, Texas, bears South 89 degrees 23 minutes 16 seconds West, a distance of 241.13 feet;

**THENCE** North 00 degrees 36 minutes 44 seconds West, along the East line of said Godinez/Galvan-Diaz Tract, a distance of 200.00 feet to a point for corner, said corner being in the South line of East Interurban Street (Public Right-of-Way), from which a 1/2 inch Iron rod found for witness at the Northwest corner of that tract of land conveyed to Lee E. Wells and wife, Lynda S. Wells, by deed recorded in Instrument No. 2021000018644, Deed Records of Rockwall County, Texas, bears South 89 degrees 23 minutes 16 seconds West, a distance of 337.79 feet, and from which a post found for witness bears South 37 degrees 35 minutes 06 seconds East, a distance of 1.23 feet;

**THENCE** North 89 degrees 23 minutes 16 seconds East, along the South line of said East Interurban Street, a distance of 62.00 feet to a point for corner, said corner being the Northwest corner of that tract of land conveyed to Morris E. Boss and Debra Kay Boss, by deed recorded in Volume 1730, Page 181, Deed Records of Rockwall County, Texas, from which a 1-1/2 inch Iron pipe found for witness bears South 50 degrees 34 minutes 29 seconds East, a distance of 1.29 feet;

**THENCE** South 00 degrees 36 minutes 44 seconds East, along the West line of said Boss tract, a distance of 200.00 feet to a 1 inch Iron pipe found for corner, said corner being in the North line of said East Kaufman Street, same being the Southwest corner of said Boss Tract;

**THENCE** South 89 degree 23 minutes 16 seconds West, along the North line of said East Kaufman Street, a distance of 82.00 feet to the POINT OF BEGINNING and containing 12,400.00 square feet or 0.28 acres of land.



FRONT VIEW



**FRONT VIEW**



RIGHT SIDE VIEW



**LEFT SIDE VIEW**



REAR VIEW



# CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2024-040

## PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: [PLANNING@ROCKWALL.COM](mailto:PLANNING@ROCKWALL.COM)

### ADJACENT HOUSING ATTRIBUTES

ADDRESS	HOUSING TYPE	YEAR BUILT	HOUSE SF	ACCESSORY BUILDING	EXTERIOR MATERIALS
202 N. Fannin Street	Commercial	1985	3,100	N/A	Brick and Stucco
204 N. Fannin Street	Vacant	N/A	N/A	N/A	N/A
305 E. Kaufman Street	Single-Family Home	1910	1,622	N/A	Siding
307 E. Kaufman Street	Single-Family Home	1980	1,403	N/A	Siding
401 E. Kaufman Street	Single-Family Home	1975	1,704	N/A	Siding
403 E. Kaufman Street	Vacant	N/A	N/A	N/A	N/A
405 E. Kaufman Street	Vacant	N/A	N/A	N/A	N/A
501 E. Kaufman Street	Single-Family Home	1995	1,616	N/A	Brick
503 E. Kaufman Street	Single-Family Home	1987	1,712	N/A	Brick
505 E. Kaufman Street	Single-Family Home	1989	1,616	100	Brick
AVERAGES:		1974	1,825	100	



# CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2024-040

## PLANNING AND ZONING DEPARTMENT

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202 N. Fannin Street



204 N. Fannin Street





## CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2024-040

### PLANNING AND ZONING DEPARTMENT

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PHONE: (972) 771-7745 • EMAIL: [PLANNING@ROCKWALL.COM](mailto:PLANNING@ROCKWALL.COM)



305 E. Kaufman Street



307 E. Kaufman Street



## CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2024-040

### PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: [PLANNING@ROCKWALL.COM](mailto:PLANNING@ROCKWALL.COM)



401 E. Kaufman Street



403 E. Kaufman Street



# CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2024-040

**PLANNING AND ZONING DEPARTMENT**

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: [PLANNING@ROCKWALL.COM](mailto:PLANNING@ROCKWALL.COM)



405 E. Kaufman Street



501 E. Kaufman Street



# CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2024-040

**PLANNING AND ZONING DEPARTMENT**

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: [PLANNING@ROCKWALL.COM](mailto:PLANNING@ROCKWALL.COM)



503 E. Kaufman Street



505 E. Kaufman Street

CITY OF ROCKWALL

ORDINANCE NO. 24-XX

SPECIFIC USE PERMIT NO. S-3XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE (UDC) [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR *RESIDENTIAL INFILL IN AN ESTABLISHED SUBDIVISION* TO ALLOW THE CONSTRUCTION OF A SINGLE-FAMILY HOME ON A 0.2850-ACRE PARCEL OF LAND, IDENTIFIED AS LOT 5B, BLOCK 5, GRIFFITH ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DESCRIBED AND DEPICTED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

**WHEREAS**, the City has received a request by Carol A. Byrd for the approval of a *Specific Use Permit (SUP)* for *Residential Infill in an Established Subdivision* for the purpose of constructing a single-family home on a 0.2850-acre parcel of land identified as Lot 5B, Block 5, Griffith Addition, City of Rockwall, Rockwall County, Texas, zoned for Single-Family 7 (SF-7) District land uses, addressed as 403 E. Kaufman Street, and being more specifically described and depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

**WHEREAS**, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall should be amended as follows:

**NOW, THEREFORE, BE IT ORDAINED** by the City Council of the City of Rockwall, Texas;

**SECTION 1.** That the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* to allow for the construction of a single-family home in an established subdivision in accordance with Article 04, *Permissible Uses*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*] on the *Subject Property*; and,

**SECTION 2.** That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Subsection 03.01, *General Residential District Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*] -- as heretofore

amended and may be amended in the future -- and with the following conditions:

## 2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the construction of a single-family home on the *Subject Property* and conformance to these operational conditions are required:

- 1) The development of the *Subject Property* shall generally conform to the Residential Plot Plan as depicted in *Exhibit 'B'* of this ordinance.
- 2) The construction of a single-family home on the *Subject Property* shall generally conform to the Building Elevations depicted in *Exhibit 'C'* of this ordinance.
- 3) Once construction of the single-family home has been completed, inspected, and accepted by the City of Rockwall, this Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.

## 2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)* of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

- 1) Upon obtaining a *Building Permit*, should the contractor operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*].

**SECTION 3.** That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

**SECTION 4.** That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

**SECTION 5.** Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

**SECTION 6.** If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

**SECTION 7.** That this ordinance shall take effect immediately from and after its passage.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,  
THIS THE 7<sup>th</sup> DAY OF OCTOBER, 2024.

\_\_\_\_\_  
Trace Johannesen, Mayor

**ATTEST:**

\_\_\_\_\_  
Kristy Teague, City Secretary

**APPROVED AS TO FORM:**

\_\_\_\_\_  
Frank J. Garza, City Attorney

1<sup>st</sup> Reading: September 16, 2024

2<sup>nd</sup> Reading: October 7, 2024

**Exhibit 'A':**  
*Location Map*

Address: 403 E. Kaufman Street

Legal Description: Lot 5B, Block 5, Griffith Addition





**Exhibit 'B':**  
*Residential Plot Plan*

